



CITY OF WHEELING PLANNING COMMISSION

www.WheelingWV.gov

STAFF REPORT

PLANNING COMMISSION HEARING DATE: Monday, November 14, 2022

PROPERTY LOCATION: 842 National Road [see Exhibit 1]
Parcels 186, 195, and 196 on Tax Map W39 of Tax District 10

PROPERTY ZONING CLASSIFICATION: C-2 General Commercial [see Exhibit 2]

NATURE OF REQUEST: Preliminary and Final Site Plan Approval

APPLICANT: Kellbenn, Inc.

BACKGROUND

Kellbenn, Inc. seeks simultaneous Preliminary and Final Site Plan approval for the redevelopment of a portion of subject commercial site. The proposed development plan is summarized as follows:

- The development site is composed of Parcel 186, which contains the two (2) existing commercial buildings, and Parcels 195 and 196, which serves as a driveway access from Leatherwood Lane to and the loading berth for the CVS building, unorganized parking, and solid waste storage at the rear of the CVS building.
- The existing CVS building on the east side of the development site will remain. However, the four (4) existing driveway accesses from National Road to the site will be combined into one (1) driveway access thereby promoting best access management practices within the arterial commercial corridor. The developer has prepared and submitted a traffic impact study to and is working with West Virginia Division of Highways to secure a Right-of-Way Entry Permit (MM-109) for the proposed consolidated driveway access.
- The parking lot layout immediately in front of the CVS building will be reorganized to improve the efficiency and safety of internal vehicular movements.
- The former *A.C. Buffet Restaurant* building on the west side of the development site will be razed and removed and replaced by an approximate 4,319 square foot two-tenant commercial building. *Starbucks* is proposed for the larger 2,510 square foot tenant space, which will include a drive-through facility. The smaller 1,809 tenant space will be occupied by an undetermined retail establishment.

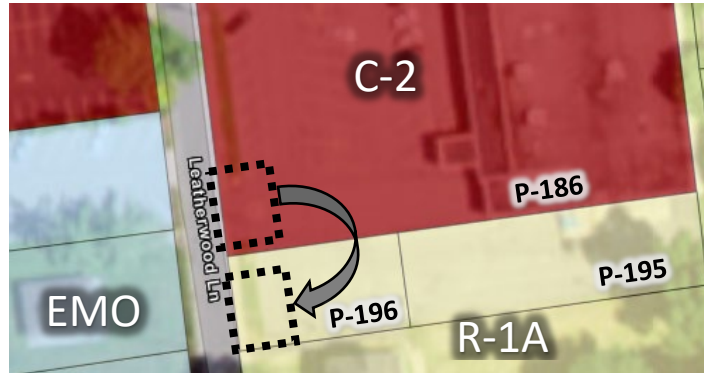
Page 1 of 5

COMMISSION MEMBERS

JEREMY WEST, CHAIR · MICHAEL BAUM · THOMAS CONNER ·
HOWARD MONROE · DAVE PALMER · CHRISTINA SCHESSLER · WILLIAM SCHWARZ

- The applicant’s estimated project construction schedule is to begin construction in March 2023 and complete in August 2023 with opening date projected September 2023.
- The proposed land use classifications of “restaurant without lounge” and “retail business” are permitted in the C-2 District by-right.

- Currently, there are two (2) driveway accesses from the site to Leatherwood Lane. The northern most driveway access will be removed, and the developer seeks to relocate the southernmost driveway access further south from Parcel 186 to Parcel 196. The image to the right generally illustrates the proposed relocation and current zoning classifications of said parcels.



- Parcels 195 and 196 are currently zoned R-1A (Low Density). Article 1355.03(d) of the City’s Planning & Zoning Code provides that, “...No access drive or driveway shall be located in any residential zone to provide access to uses other than those permitted in such zone.” The developer has submitted a Zoning Map Amendment Petition seeking reclassification of said parcels from R-1A to C-2 General Commercial. Reclassifying said parcels will eliminate the existing nonconforming nonresidential use of the lots in the R-1A District as well as permit the driveway access relocation as desired by the applicant. Site Plan approval, if granted, must be contingent upon City Council’s approval to reclassify at least Parcels 195 and 196 from R-1A to C-2.

PLANNING COMMISSION REVIEW

Article 1373 of the City’s Planning and Zoning Code empowers the Planning Commission to review and approve, approve with modifications/conditions, or disapprove site plans for certain development enumerated under Article 1373.03, the following of which pertain to the applicant’s Site Plan.

- Article 1373.03(a)(4) – Any new structure or addition in a nonresidential district if the lot abuts a residential district.
- Article 1373.03(b)(4) – Any new construction or additions that is greater than 4,000 square feet in floor area in the C-2 District.

As provided in Article 1373.05(a) and Article 1373.06(c), City Planning Staff conducted pre-submission and sketch plan conferences with the applicant to identify and explore Planning and Zoning Code compliance and site plan improvements, which are reflected in the preliminary and final site plan development documents submitted by the applicant and included herein under Exhibit 4.

Except for the location, size, color, and illumination of proposed signs, City Planning Staff certifies the applicant has submitted site and development plans meeting all the specific applicable submission requirements.

To reduce design burden at this stage of the development application process and to promote more efficient development review and approval procedures, staff advised the applicant that signage plan

submission and review can and should be conducted at the time of building permit application for same, once site development entitlements are obtained (zoning map amendment, site plan, and site development related variances). Accordingly, Staff respectfully requests the Planning Commission to waive submission of the Signage Plan as a part of its Site Plan review and approval as permitted under Article 1373.06(e)(1) and delegate review and approval of signage to City Administration and, if the case may be, the Board of Zoning Appeals (BZA) should variance relief be necessary.

City Planning Staff advises the Planning Commission that the applicant's simultaneous submission of the Preliminary and Final Site Plan, as provided under Article 1373.05(c), and the Planning Commission's simultaneous review and determination of same can and should be acted upon accordingly.

ANALYSIS

Article 1373.07 of the City's Planning and Zoning Code provides the 18 General Standards as Basis for Review that the Planning Commission is obligated to consider in its review of Site Plan applications. It should be noted that the Planning Commission is not permitted to specify or favor any particular architectural style or design or assist in the design of any of the buildings submitted for site plan approval. Participation by the Planning Commission is restricted to a reasonable, professional review, and, except as otherwise provided under the 18 General Standards, full responsibility for design is retained by the applicant.

Exhibit 3 of this report provides Staff plans review observations under each of the 18 General Standards and is provided as a resource for the Planning Commission in fulfilling its obligation to either approve, approve with modifications/conditions, or disapprove the applicant's Site Plan.

Based on Staff plans review, the following development entitlement approvals/actions are required for the proposed Site Plan:

- Zoning Map Amendment to at least reclassify Parcels 195 and 196 of Tax Map W39 from R-1A to C-2 to (1) eliminate the existing nonconforming nonresidential use of the residentially zoned parcels; and (2) permit the proposed relocation of the southernmost driveway access on Leatherwood Lane to be relocated further south from Parcel 186 to Parcel 196.
- Site Plan for which the Planning Commission is presently considering.
- Lot Consolidation to merge Parcels 186, 195, and 196 under single ownership that compose the subject development site into one (1) parcel for planning and zoning purposes by recording notations placed on the recorded deed to each lot as a covenant running with the land that the lots may not be considered to be a separate parcel of real estate for land use, development, conveyance, or transfer of ownership, without having first obtained the expressed approval of the Wheeling City Planning Commission.
- Variance Relief from the following interior parking area landscaping requirements, which are included on the BZA's November 17, 2022 agenda:
 - Variance relief from Article 1355.05(a) to permit the planting of four (4) major deciduous shade trees rather than the requisite 18 new major deciduous shade trees and for the four (4) trees to be planted on the perimeter of the parking area rather than within the interior of the parking area as required; and,

- Variance relief from Article 1355.05(b) and Article 1373.07(d)(7) waiving the requirement to develop interior parking area raised planting islands.

STAFF RECOMMENDATION

City Planning Staff respectfully advises the Planning Commission to simultaneously grant Preliminary and Final approval of the developer's Site Plan application with the following conditions:

1. That zoning map amendment approval must be granted by City Council to at least reclassify Parcels 195 and 196 from R-1A (Low Density) to C-2 General Commercial.
2. That the Board of Zoning Appeals (BZA) must grant variance relief from the following interior parking area landscaping requirements:
 - a. Variance relief from Article 1355.05(a) to permit the planting of four (4) major deciduous shade trees rather than the requisite 18 new major deciduous shade trees and for the four (4) trees to be planted on the perimeter of the parking area rather than within the interior of the parking area as required; and,
 - b. Variance relief from Article 1355.05(b) and Article 1373.07(d)(7) waiving the requirement to develop interior parking area raised planting islands.
3. That, prior to the issuance of any development related permits, Parcels 186, 195, and 196 on Tax Map W39 under single ownership composing the subject development site must be consolidated into one (1) parcel for planning and zoning purposes by recording notations placed on the recorded deed to each subject lot as a covenant running with the land that said lots may not be considered to be a separate parcel of real estate for land use, development, conveyance, or transfer of ownership, without having first obtained the expressed approval of the Wheeling City Planning Commission.
4. That, prior to the issuance of any development related permits, the developer shall consult with the Wheeling Fire Department (WFD) and clearly demonstrate adequate driveway access ingress, internal site maneuvering, and driveway access egress, based on modeling of turning movements specific to the emergency apparatus WFD reasonably anticipates using when responding to the site. Further, the Planning Commission, in accordance with Article 1373.06(e)(2), hereby waives up to ten (10) percent of the minimum required parking should spaces be eliminated to accommodate WFD's reasonable requirements for site access and internal maneuvering.
5. That, unless related variance relief is granted by the Board of Zoning Appeals (BZA), plans submitted at the time of development permit application must include an opaque walled or fenced dumpster coral at least six (6) feet in height, which provides an opaque gate for solid waste and recycling hauler access and service, to create an effective screen as required under Article 1355.06(a) and Article 1355.06(d).
6. That the Planning Commission hereby waives the submission of the applicant's Signage Plan as a part of its Site Plan review and determination, as permitted under Article 1373.06(e)(1), and delegates review and approval of the applicant's Signage Plan to City Administration and, if the case may be, the Board of Zoning Appeals (BZA) should variance relief be necessary.

However, should the Planning Commission determine that additional information is necessary for further analysis and exploration, Staff respectfully advises the Planning Commission to refer the subject Site Plan Application to the commission's Zoning Subcommittee with instructions to the subcommittee, staff, and applicant on specific matters of additional information, clarification, etc. that are expected.

ATTACHMENTS

- Exhibit 1 – Site Location
- Exhibit 2 – Zoning Classification
- Exhibit 3 – General Standards as Basis for Review
- Exhibit 4 – Applicant's Submitted Documents

EXHIBIT 1 – SITE LOCATION



Site Plan Approval
Kellbenn, Inc.

842 National Road
Starbucks + Retail

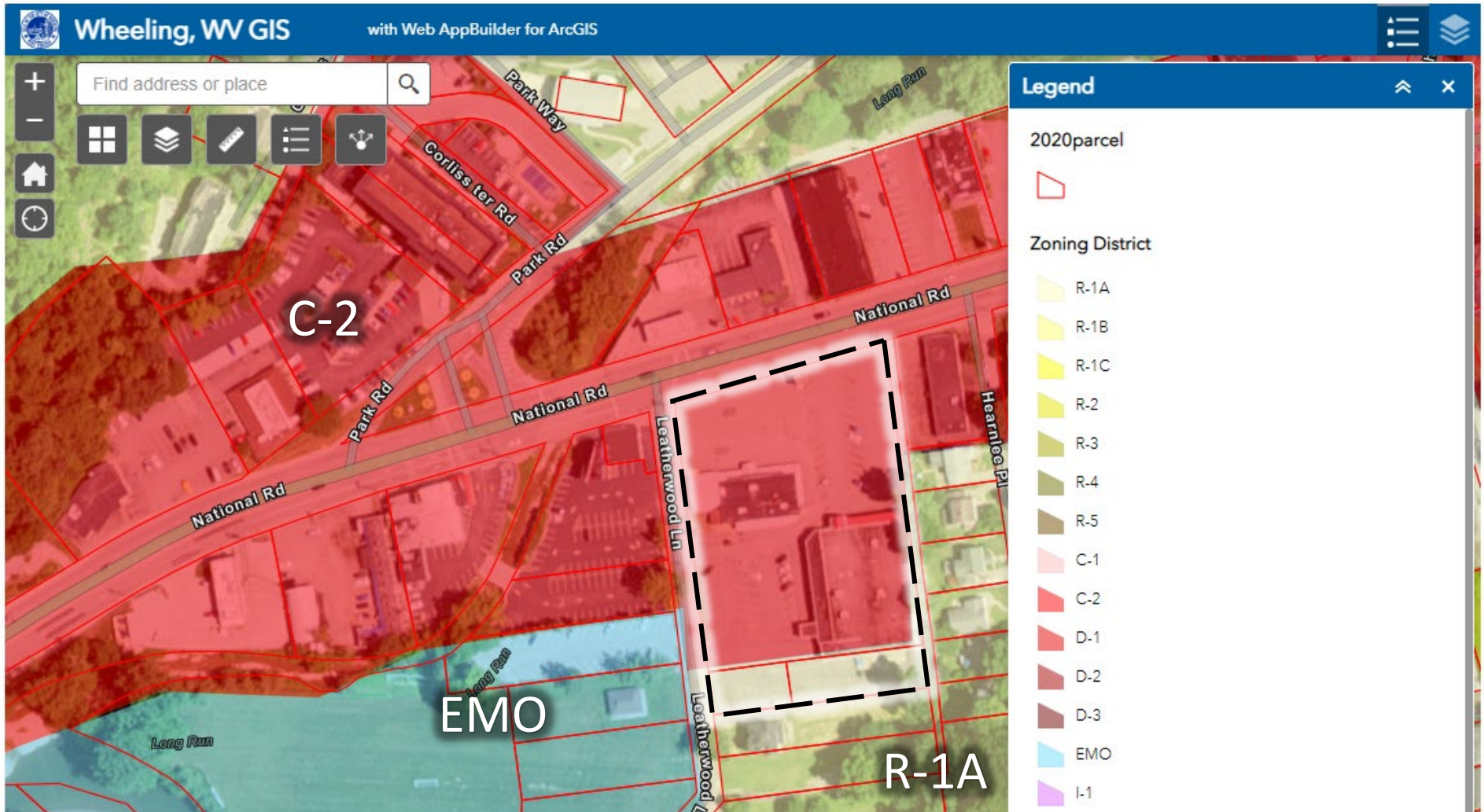
EXHIBIT 1 –SITE LOCATION



EXHIBIT 1 –SITE LOCATION



EXHIBIT 2 – ZONING CLASSIFICATION



Site Plan Approval
Kellbenn, Inc.

842 National Road
Starbucks + Retail

EXHIBIT 3 – GENERAL STANDARDS AS BASIS FOR REVIEW

The following City Staff plans review observations are provided under each of the 18 General Standards as Basis for Review established under Article 1373.07 of the City's Planning and Zoning Code and are intended to serve as a resource for the Planning Commission in fulfilling its obligation to either approve, approve with modifications/conditions, or disapprove the applicant's Site Plan.

(A) RELATIONSHIP OF PROPOSED DEVELOPMENT TO THE ADOPTED CITY OF WHEELING COMPREHENSIVE PLAN

With the exception of Parcels 195 and 196, which are included in a separate Zoning Map Amendment Petition to reclassify same from R-1A (Low Density) to C-2, the development site is located in the Commercial/Office Future Land Use area identified in the [2014 Envision Wheeling Comprehensive Plan](#). According to the Comprehensive Plan, the Commercial and Office land use category covers areas of the City that would be appropriate for commercial retail, office, and service uses that cater to both the local and regional market. The areas typically lie along major road corridors or at key intersections where there are high volumes of traffic. General commercial uses are the primary shopping locations for the community and include, but are not limited to, grocery stores, wholesale clubs, large-scale general retail, discount department stores, specialty retail, restaurants, banks, and gas stations. The heavy retail focus of these areas makes them primarily auto oriented. However, the plan strongly encourages development that establishes pedestrian access between nonresidential buildings and surrounding residential development.

It is the opinion of City Planning Staff that the proposed redevelopment of a portion of the subject development site to raze and remove a functionally obsolete commercial building and construct a new multi-tenant building that includes drive-through service is consistent with the City's current Comprehensive Plan, recognizing the existing CVS building that will remain also provides drive-through service.

(B) RELATIONSHIP OF BUILDINGS TO THE SITE

Although parking is provided between National Road and the proposed building, the location of the building reflects the development pattern common in the National Road automobile oriented commercial district and the existing location of the adjoining CVS building. The proposed building location that is further from National Road than the former A.C. Buffet building to be razed and removed presents what appears to be a planned development site rather than a CVS building to the rear of the former restaurant building. The proposed site design presents a significant improvement over existing conditions through the reduction of pavement and introduction of a substantial landscaping buffer between the sidewalk along National Road and the parking areas along the front of the entire development site. Underground electrical and telecom conduits serving the proposed building are noted on Sheet C-501 Utility Plan and electrical service to proposed parking area light standards will be underground as illustrated on Sheet C-701 Lighting Plan.

(C) RELATIONSHIP OF BUILDINGS AND SITE TO ADJOINING AREA

The siting of the proposed building appears to minimize adverse impact upon the vacant single-family detached dwelling located on Parcel 197 of Tax Map W39. The applicant included site design elements

EXHIBIT 3 – GENERAL STANDARDS AS BASIS FOR REVIEW

to ensure the proposed relocated driveway access on Leatherwood Lane maintains, through curb radius design, the minimum 10-foot setback. Additionally, Sheet C-702 identifies the planting of 42 Emerald Arborvitae trees/shrubs along boundary of the development site with the vacant single-family detached dwelling located on Parcel 197 of Tax Map W39. Sheet C-701 Lighting Plan illustrates site light intensity of less than one (1) Footcandle at the eastern edge of the CVS parking area and at the property boundary with the vacant single-family detached dwelling located on Parcel 197 of Tax Map W39.

(D) LANDSCAPE, BUFFERING, AND SITE TREATMENT

Sheet C-702 Landscape Plan illustrates care to provide landscaping, screening of parking areas, and deciduous shade trees along National Road and Leatherwood frontages. The proposed landscaping plan is a significant improvement over existing conditions as the current site is entirely covered by buildings and pavement. Landscaping at the head of parking stalls is setback from and protected by vertical full-depth concrete curbing. The Landscape plan identifies the planting of 42 Emerald Arborvitae trees/shrubs along border of the development site with the vacant single-family detached dwelling located on Parcel 197 of Tax Map W39 to screen the parking and loading areas, the loading berth, and the CVS solid waste management area.

The proposed solid waste storage area that will serve the proposed two-tenant commercial building appears to be appropriately landscaped. However, screening efforts can and should be improved by including a walled or fenced coral with access gate as generally illustrated in the image below. This should be a conditions of Site Plan approval unless related variance relief is granted by the BZA.

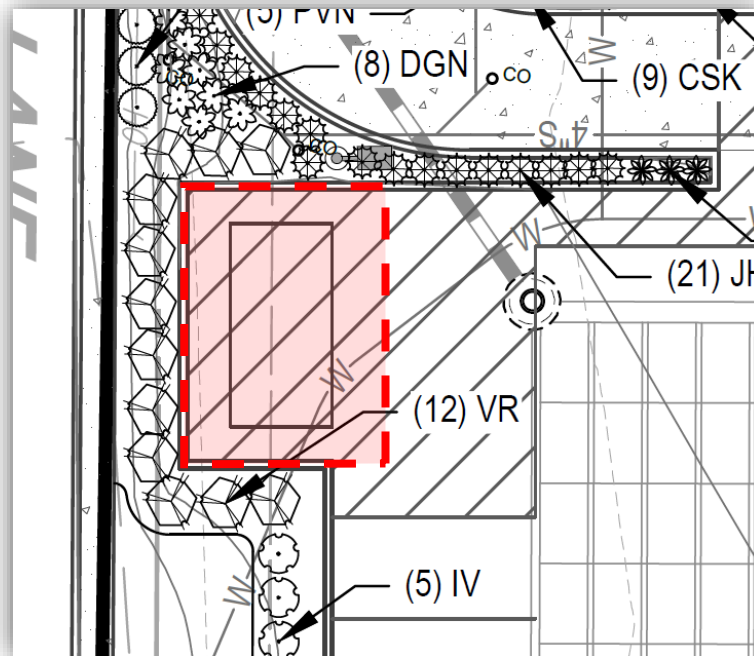


EXHIBIT 3 – GENERAL STANDARDS AS BASIS FOR REVIEW

The applicant maintains the existing development site is, “far too restricted in size in order to provide multiple raised landscape islands within the proposed parking areas and would negatively impact the following if implemented: total number of parking spaces, drive aisle width, pedestrian vehicle circulation, tenant loading/unloading maneuvering, emergency vehicle maneuvering, site photometrics, and snow removal” [excerpt from variance application].

Accordingly, the applicant has submitted variance relief requests from the following interior parking area landscaping requirements, which are included on the BZA’s November 17, 2022 agenda:

- Variance relief from Article 1355.05(a) to permit the planting of four (4) major deciduous shade trees rather than the requisite 18 new major deciduous shade trees and for the four (4) trees to be planted on the perimeter of the parking area rather than within the interior of the parking area as required; and,
- Variance relief from Article 1355.05(b) and Article 1373.07(d)(7) waiving the requirement to develop interior parking area raised planting islands.

(E) ECOLOGICAL CONSIDERATIONS

The subject development site is void of any steep slopes, highly erodible soils, stands of mature vegetation or extraordinary wildlife nesting, feeding or breeding grounds, or topographic or known geological features. The site is currently covered by buildings and pavement with very little to no pervious areas. The proposed development plan will result in limited ground disturbance and grading and will introduce landscaping areas to reduce the percentage of site’s impervious conditions.

The subject development site is located in a Flood Hazard Area (100-year floodplain) as illustrated in the following image captured from the online [WV Flood Tool](#). Site improvements and the building are being designed accordingly.

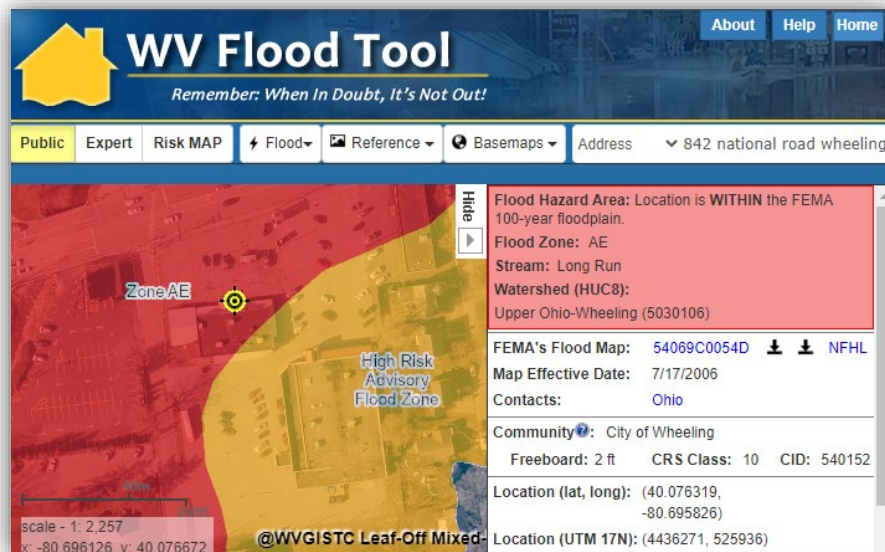


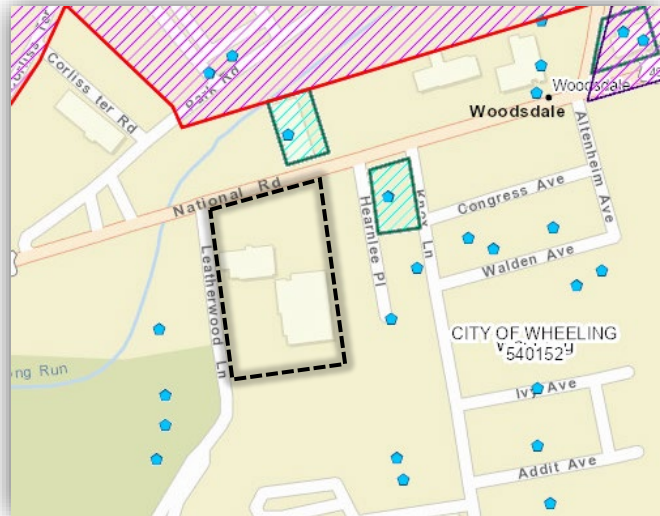
EXHIBIT 3 – GENERAL STANDARDS AS BASIS FOR REVIEW

(F) SCENIC, HISTORIC, ARCHAEOLOGICAL, AND LANDMARK SITES

As the image to the right from the West Virginia State Historic Preservations Office's online interactive map illustrates, the development site is not located in a Historic District nor are there any historic buildings or landmarks within the development site.

Specifically, the development site is located outside the nearby National Road Corridor Historic District and the Woodsdale-Edgewood Neighborhood Historic District.

There are no known archaeological resources within or known archaeological surveys of the development site.



(G) STORM DRAINAGE

The City of Wheeling's Water Pollution Control Division (WPCD) is the jurisdiction having authority for the review, approval, permitting, and inspection of soil erosion and sediment pollution control plans and stormwater management plans. The applicant's stormwater management plans are included, as required, in the Site Plan documents. City Planning Staff defers to the WPCD accordingly.

(H) DRIVEWAY CONNECTIONS TO PUBLIC STREETS

The proposed development plan will consolidate four (4) existing driveway accesses on National Road into one (1) driveway access, thereby promoting best access management practices within the arterial corridor. The design solution increases the distance between the proposed driveway access from the traffic light at the National Road and Leatherwood Lane intersection. The design solution also reduces conflict points between vehicles entering/exiting the development site with pedestrians traveling along the National Road sidewalk. National Road is a part of the State Highway System, and the developer has accordingly prepared and submitted a traffic impact study to and is working with West Virginia Division of Highways to secure a Right-of-Way Entry Permit (MM-109) for the proposed National Road driveway access.

The proposed development plan will also consolidate two (2) existing driveway accesses on Leatherwood Lane into one (1) driveway access, which again promotes best access management practices and eliminates one (1) additional conflict point between vehicles entering/exiting the development site with pedestrians traveling along Leatherwood Lane. The proposed relocation of the southernmost driveway access point will be reviewed and approved by the Public Works Director as

EXHIBIT 3 – GENERAL STANDARDS AS BASIS FOR REVIEW

a part of building permit review and approval, but is dependent upon City Council's approval of the applicant's Zoning Map Amendment petition to reclassify at least Parcels 195 and 196 from R-1A to C-2.

(I) TRAFFIC EFFECTS

As noted under the previous General Standard (H), the developer has prepared and submitted a traffic impact study to and is working with West Virginia Division of Highways to secure a Right-of-Way Entry Permit (MM-109) for the proposed National Road driveway access. The proposed drive-through facility to serve the *Starbucks* storefront is approximately 540 feet between the proposed National Road driveway access and the *Starbucks* pickup window, which is over five times the minimum 100-foot stacking or queuing lane standard set forth in Article 1355.04(a).

(J) PEDESTRIAN SAFETY

As noted under the General Standard (H) above concerning driveway connections to public streets, the proposed development will reduce the number of driveway accesses from six (6) to two (2), which is a significant reduction in potential conflict points between vehicles entering/exiting the development site and pedestrians traveling along National Road and Leatherwood Lane. The new driveway access points will be required to be flanked by accessible ramps meeting related ADA design standards.

Additionally, the developer is proposing a demarcated pedestrian way connecting the CVS building and the proposed two-tenant commercial building. The pedestrian way will include pavement marking and vertical signage alerting vehicle operators within the drive-through aisle and the parallel two-way drive aisle between the two (2) buildings of the presence of pedestrians and their obligation to yield to pedestrians.

The design solution will also include accessible ramps at the sidewalk connections meeting related ADA design standards. See the image to the right illustrating the location of the proposed pedestrian way.

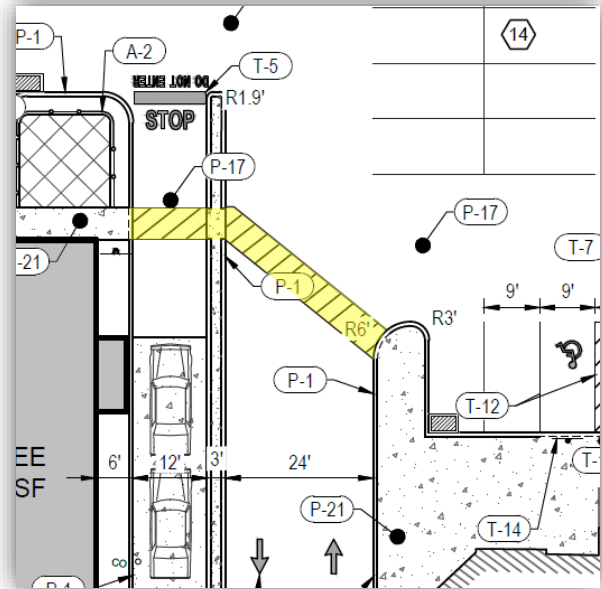


EXHIBIT 3 – GENERAL STANDARDS AS BASIS FOR REVIEW

(K) ON-SITE PARKING AND CIRCULATION

Staff concurs with the applicant's minimum parking calculation provided on Sheet C-301 Site Plan (see image to the right).

PARKING REQUIREMENTS			
	MIN REQUIRED	EXISTING	PROPOSED
PARKING SPACES	RETAIL: 1 SPACE PER 250 SF GFA = $\frac{1}{250} * (1,809 \text{ SF} + 13,658 \text{ SF}) = 62 \text{ SPACES}$ DINING: 1 SPACE PER 10 SF GFA = $\frac{1}{10} * (2,510 \text{ SF}) = 25 \text{ SPACES}$ TOTAL: 87 SPACES	104 SPACES	87 SPACES (INCLUDING 7 ADA SPACES)
DRIVE-THRU STACKING	100 FT STACKING LANE	N/A	235' (CENTERLINE OF DT LANE)

The location of and dimensional layout for the parking spaces, parking areas, and drive aisles

appear to meet the Planning and Zoning Code's related development and performance standards. As noted above under the General Standard (D) concerning Landscape, Buffering, and Site Treatment, the applicant has submitted variance relief requests from Articles 1355.05(a), 1355.05(b), and 1373.07(d)(7) as they relate to raised landscape islands to separate parking rows and drive aisles in the parking areas.

The applicant's design team has been advised of staff's observation that the Wheeling Fire Department must be consulted and the development site properly modeled (e.g., AutoTURN, etc.) to ensure safe and adequate access and maneuvering for WFD responding apparatus. Specifically, modeling should be based on WFD's preferred approach, the apparatus they would normally respond with, and show entering the site, maneuvering through the site, and exiting the site. See Staff Recommendation section of this report on Page 4 for related discussion.

(L) UTILITY SERVICES

Underground electrical and telecom conduits serving the proposed building are noted on Sheet C-501 Utility Plan and electrical service to proposed parking area light standards will be underground as illustrated on Sheet C-701 Lighting Plan.

(M) DISPOSAL OF WASTES

The site appears to incorporate adequate solid waste storage facilities for the proposed commercial uses. The tenants of the new building or the property owner will ultimately be responsible for securing adequate service with the solid waste and recycling hauler (i.e., dumpster size, number of pickups per week, etc.)

(N) NOISE

The proposed commercial uses for the new two-tenant building are not anticipated to generate outside noise above normally acceptable levels customary to such uses and within the National Road commercial corridor.

EXHIBIT 3 – GENERAL STANDARDS AS BASIS FOR REVIEW

(O) ADVERTISING FEATURES AND SIGNS

To reduce design burden at this stage of the development application process and to promote more efficient development review and approval procedures, Staff advised the applicant that signage plan submission and review can and should be conducted at the time of building permit application for same, once site development entitlements are obtained (zoning map amendment, site plan, and site development related variances). See the Planning Commission Review section of this report on Page 2 for additional related discussion and Staff Recommendations.

(P) PEDESTRIAN AND BICYCLE CIRCULATION

As noted under General Standard (J) above concerning pedestrian safety, the proposed development significantly reduces conflict points between vehicles and pedestrians traveling sidewalks along National Road and Leatherwood Lane. Accessible routes appear to be properly planned to meet related ADA standards. The applicant has not indicated whether short-term bicycle storage (i.e., bike rack) will be provided for the new two-tenant building, although the site is extremely limited to program space for bicycle storage. An alternate location could be along the front facade of the CVS building that might serve the entire development site. However, the provision of short- or long-term bicycle storage is not required under the City's Planning and Zoning Code. It should be noted that there appears to be a fixed bus stop along the development site's frontage served by the Ohio Valley Regional Transit Authority (OVRTA) Elm Grove / Highlands Line. The developer should work with OVRTA to relocate the fixed stop as a result of the consolidated National Road driveway access.

(Q) LIGHTING

Sheet C-701 Lighting Plan illustrates compliance with related design and performance standards provided under Article 1331.13 and Article 1355.08. Site light intensity is less than one (1) Footcandle at the eastern edge of the CVS parking area and at the property boundary with the vacant single-family detached dwelling located on Parcel 197 of Tax Map W39. Site light intensity is less than four (4) Footcandles at the proposed driveway accesses on National Road and Leatherwood Lane with acceptable spillover into the public right-of-way.

(R) BUILDING DESIGN

The proposed building design appears to reflect architectural style and treatments common to similar commercial uses. As noted under the General Standard (F) above concerning scenic, historic, archaeological, and landmark sites, the development site is not located in a Historic District nor are there any historic buildings or landmarks within the development site that warrant historic design considerations. Proposed materials appear to have good architectural character that are in harmony with traditional building materials. Building components appear to have well-designed proportions and relationships to one another. Mechanical equipment will be roof-mounted and appropriately screened from adjacent properties and public view from the public right-of-way.

SEE FOLLOWING PAGES

Site Plan Review Checklist

1. Legal Data:

- property owners within 100'
- existing zoning and special district boundaries
- boundaries of property, setback lines, existing streets and adjoining lots, reservations, easements, and areas dedicated to public use

2. General Project Site Description:

- map showing entire property, adjacent property and streets at convenient scale
- approximate location and dimension of all existing and proposed structures on adjacent properties and within 100' of site boundary
- name & address of applicant, planners, engineers, architects working on project

3. Preliminary & Final Plans:

- location map: show all roads within 200' of the site.

existing conditions:

- buildings
- water bodies & floodplains
- wooded area, existing vegetative cover and other significant features

development data:

- title, date, north point, scale
- owner information
- project engineer
- vehicular / pedestrian access and circulation
- elevations, building height, floor plans
- walkways & fire lanes
- location of waterlines, valves, hydrants, sewer lines
- location and direction of outdoor lighting within the site and at the boundary if adjacent to residential development.
- grading and drainage
- landscaping plan
- cut and fill of disturbed areas (before and after profiles), E&SC Plan, location of sediment sink / setting pond and interceptor swales
- storm water drainage system / computations
- location, size, color illumination of signage
- drains, culverts, walls, and fences
- outdoor storage location
- detailed breakdown of proposed floor space by use
- location and design of energy distribution facilities: electric, gas, solar
- lines and dimensions of property to be dedicated public
- construction schedule
- record of application of necessary permits from federal, state or county
- copies submitted on media 24" x 36", 11" x 17", and digital copy

4. Additional Submissions (special conditions may require additional information)

5. Amendments

Changes / modifications to the approved plans require review by Planning Administrator to determine if an amended site plan review by the Planning Commission is required.



APPLICATION FOR CERTIFICATE OF ZONING COMPLIANCE FOR THE USE, ERECTION, ALTERATION, OR REPAIR OF A BUILDING OR LAND

The undersigned applies for a Certificate of Zoning Compliance for the following, said certificate is to be issued on the basis of the information contained within the application. *The applicant hereby certifies that all information and attachments are true and correct.*

- 1. Address of Property: 842 National Rd, Wheeling, WV 26003
- 2. Name of Property Owner: Kellbenn, Inc.
- 3. Name of Applicant: Patrick McDerMott
- 4. Address of Applicant: 1144 Market St., Suite 101, Wheeling, WV 26003
- 5. Applicant Phone: 304-242-3220 Owner Phone: 304-242-3220
- 6. Existing Use: Commercial
- 7. Proposed Use: Same Other (describe): CVS to to remain same use; Proposed uses: Restaurant&Retail
- 8. Number of off-street parking spaces to be provided: 87
- 9. Number of off-street loading berths to be provided: 1

COMPLETE THIS SECTION BELOW FOR THE ERECTION, ALTERATION, OR ADDITION OF A STRUCTURE

Type of Improvement:

- New Building
- Addition
- Alteration / Repair

Residential:

Number of existing dwelling units: N/A
 Number of proposed dwelling units: N/A

Existing Lot Dimensions: Width: 256 ft. x Depth: 362 ft. = lot area: 92,672 sq. ft.

Existing Principal Building:

Dimensions: Width: 120 ft. x Depth: 63 ft. = Total first floor area, including covered porches: 7,760 sq. ft.
 Setbacks: Front: 80 ft. ~~Rear:~~ 7.5 ft. Side: 117 ft. Other Side: 212 ft. Height/Stories: 1
 Front

Existing Accessory Building: (garage, carport, shed, pool, etc):

Dimensions: Width: _____ ft. x Depth: _____ ft. = Total first floor area, including covered porches: _____ sq. ft.
 Setbacks: Front: _____ ft. Rear: _____ ft. Side: _____ ft. Other Side: _____ ft. Height/Stories: _____

Proposed Construction:

Dimensions: Width: 62 ft. x Depth: 70 ft. = Total first floor area, including covered porches: 4,320 sq. ft.
 Setbacks: Front: 124 ft. ~~Rear:~~ 19 ft. Side: 163 ft. Other Side: 180 ft. Height/Stories: 1
 Front

Applicant Signature: Date: 11/1/22

Owner Signature: Date: 11/1/22

Reset Form

Print Form

Rev: 01/27/2015



CITY OF WHEELING



FLOODPLAIN DEVELOPMENT PERMIT APPLICATION

Floodplain Management Program

Date of Application: 10/21/2022

Permit#

Application Information

Name: Kellben, Inc. - Patrick McDermott Mailing Address: 1144 Market St, Suite 101
City: Wheeling State: WV Phone: 304-242-3220

Contractor Information & License Number (if applicable) WV License #: City License#

Name: TBD Mailing Address:
City: State: Phone:

Property Address: 842 National Rd, Wheeling WV 26003 Cost of Improvement: TBD
(Provide directions if no address below) (Provide Documentation)

- Type of Structure: (Check All That Apply)
Residential
X Excavation/Fill Activities
Manufactured Home
X Demolition
Commercial/Industrial
Garage/Detached Structure
Other (explain)

Description of Work To Be Completed:

Redevelopment of the existing site includes clearing the existing site, the construction of a multi-use structure, parking lot, retaining wall, utilities, and landscaping necessary to support the development. The development will result in decreased stormwater runoff volume and peak rates while utilizing the existing natural drainage systems.

Signature [Handwritten Signature] For Kellben, Inc.

PRELIMINARY / FINAL LAND DEVELOPMENT PLANS

FOR
KELLBENN, INC

PROPOSED
STARBUCKS WITH DRIVE-THRU & ATTACHED RETAIL

LOCATION OF SITE
842 NATIONAL ROAD
CITY OF WHEELING
OHIO COUNTY, WV 26003



REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY



WEST VIRGINIA
YOU MUST CALL 811 BEFORE ANY EXCAVATION
WHETHER IT'S ON PRIVATE OR PUBLIC LAND.
1-800-245-4848
www.wv811.com

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: PB214045
DRAWN BY: APM
CHECKED BY: MWT
DATE: 10/28/2022
CAD ID: PB214045-CNDS-00

PROJECT:
**PRELIMINARY/
FINAL LAND
DEVELOPMENT
PLANS**

FOR

KELLBENN, INC.

PROPOSED DEVELOPMENT

842 NATIONAL ROAD
CITY OF WHEELING
OHIO COUNTY, WV 26003



1 ALLEGHENY SQUARE, SUITE 402
PITTSBURGH, PA 15212
Phone: (724) 638-8500

www.BohlerEngineering.com

M.W. TAKACS

REGISTERED LANDSCAPE ARCHITECT
WEST VIRGINIA LICENSE No.

SHEET TITLE:

COVER SHEET

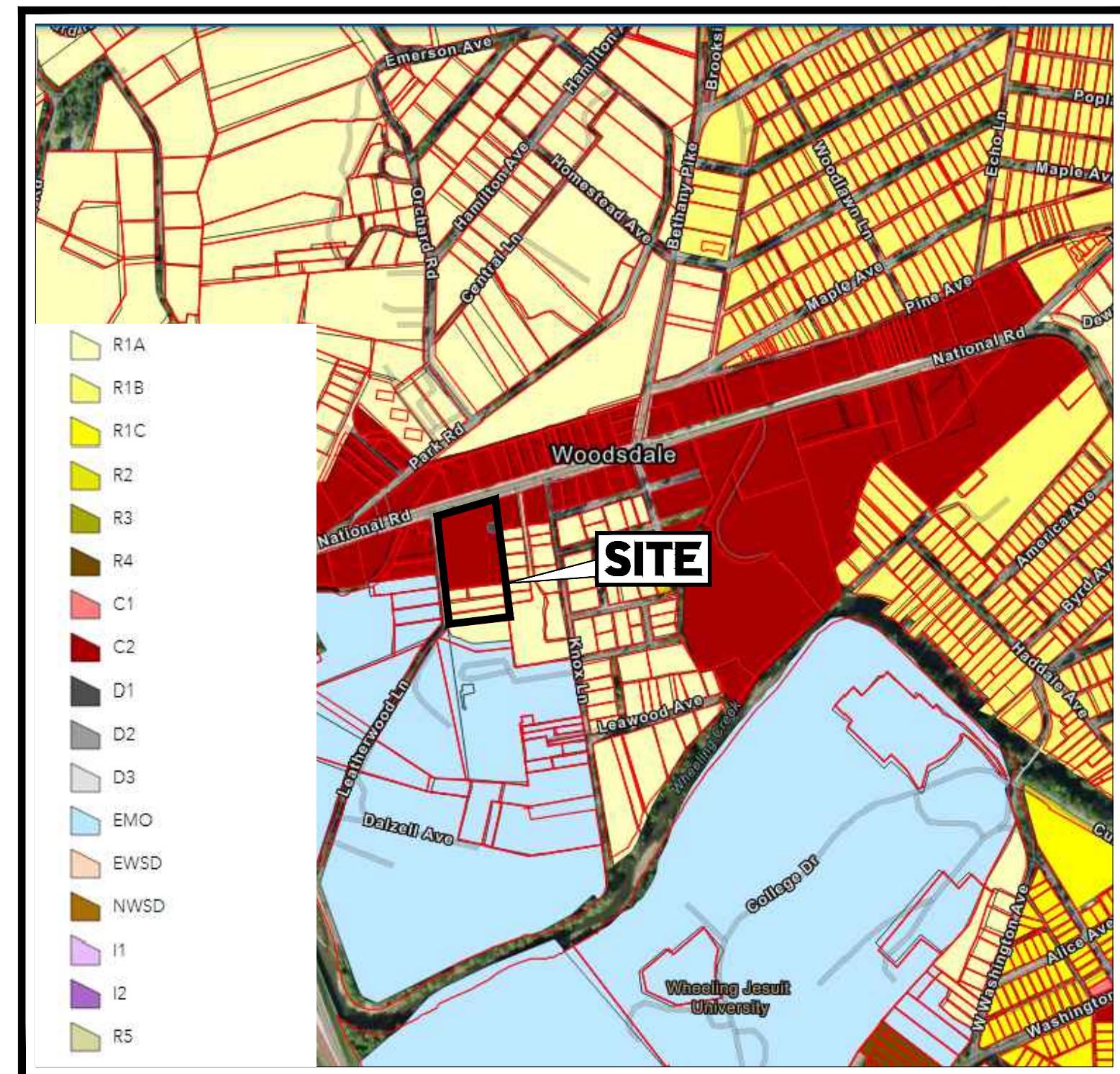
SHEET NUMBER:

C-101

ORG. DATE - 10/28/2022

DRAWING SHEET INDEX

SHEET TITLE	SHEET NUMBER
BOUNDARY & TOPOGRAPHIC SURVEY (BY OTHERS)	1 OF 1
COVER SHEET	C-101
NOTES SHEET	C-102
EXISTING CONDITIONS/DEMOLITION PLAN	C-201
SITE PLAN	C-301
GRADING PLAN	C-401
UTILITY PLAN	C-501
SOIL EROSION AND SEDIMENT POLLUTION CONTROL PLAN	C-601
SOIL EROSION AND SEDIMENT POLLUTION CONTROL NOTES & DETAILS	C-602, C-603, C-604
POST CONSTRUCTION STORMWATER MANAGEMENT PLAN	C-605
POST CONSTRUCTION STORMWATER MANAGEMENT NOTES	C-606
LIGHTING PLAN	C-701
LANDSCAPE PLAN	C-702
LANDSCAPE NOTES AND DETAILS	C-703
PROFILES	C-801
DETAILS SHEET	C-901
PRE-DEVELOPMENT DRAINAGE MAP	C-902
POST-DEVELOPMENT DRAINAGE MAP	C-903



ZONING MAP

SCALE: 1" = 600'
SOURCE: CITY OF WHEELING, WV



LOCATION MAP

SCALE: 1" = 500'
SOURCE: GOOGLE MAPS

LIST OF REQUESTED VARIANCES

- CITY OF WHEELING BOARD OF ZONING APPEALS**
ZONING VARIANCES APPROVED UNDER THE CITY OF WHEELING ZONING CODE
- ARTICLE 1355.05(a) - AT LEAST ONE MAJOR DECIDUOUS SHADE TREE, NOT LESS THAN TWO AND ONE-HALF INCHES CALIPER MEASURED THREE FEET ABOVE THE GROUND AT THE TIME OF PLANTING, SHALL BE PROVIDED WITHIN EACH PARKING AREA FOR EVERY 3,000 SQUARE FEET OF PAVED AREA OR EVERY TEN PARKING SPACES, WHICHEVER IS GREATER. THE TREES SHALL BE SPACED EVENLY THROUGHOUT THE LOT INTERIOR TO PROVIDE SHADE AND REDUCE GLARE. IN ALL OFF-STREET PARKING AREAS CONTAINING TWENTY-FIVE OR MORE PARKING SPACES, AT LEAST TEN PERCENT OF THE INTERIOR OF THE PARKING AREA SHALL BE CURBED AND LANDSCAPED WITH TREES, SHRUBS, AND OTHER PLANTS.
 - ARTICLE 1355.05(b) - RAISED PLANTING ISLANDS AT LEAST EIGHT FEET IN WIDTH FOR DOUBLE LOADED ISLANDS OR SIX FEET FOR SINGLE LOADED ISLANDS SHALL BE PROVIDED TO GUIDE VEHICLE MOVEMENT AND TO SEPARATE OPPOSING ROWS OF PARKING SPACES SO AS TO PROVIDE ADEQUATE SPACE FOR PLANT GROWTH, PEDESTRIAN CIRCULATION, AND VEHICLE OVERHANG. SUCH RAISED PLANTING ISLANDS AND THE LANDSCAPING WITHIN THEM SHALL BE DESIGNED AND ARRANGED IN SUCH A WAY AS TO DEFINE MAJOR CIRCULATION AISLES, ENTRANCES, AND EXITS, TO CHANNEL INTERNAL TRAFFIC FLOW, TO PREVENT INDISCRIMINATE DIAGONAL MOVEMENT OF VEHICLES, AND TO PROVIDE RELIEF FROM THE VISUAL MONOTONY AND SHADELESS EXPANSE OF A LARGE PARKING AREA.

SIGNATURE OF AUTHORIZED OFFICIAL _____ DATE _____

PREPARED BY



REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY



Know what's below.
 Call before you dig.
 WEST VIRGINIA
 YOU MUST CALL 811 BEFORE ANY EXCAVATION
 WHETHER IT'S ON PRIVATE OR PUBLIC LAND.
 1-800-245-4848
 www.wv811.com

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: PB214045
 DRAWN BY: APM
 CHECKED BY: MWT
 DATE: 10/28/2022
 CAD ID: PB214045-LDVP-00

PROJECT:

PRELIMINARY/ FINAL LAND DEVELOPMENT PLANS
 FOR
KELLBENN, INC.
 PROPOSED DEVELOPMENT
 842 NATIONAL ROAD
 CITY OF WHEELING
 OHIO COUNTY, WV 26003

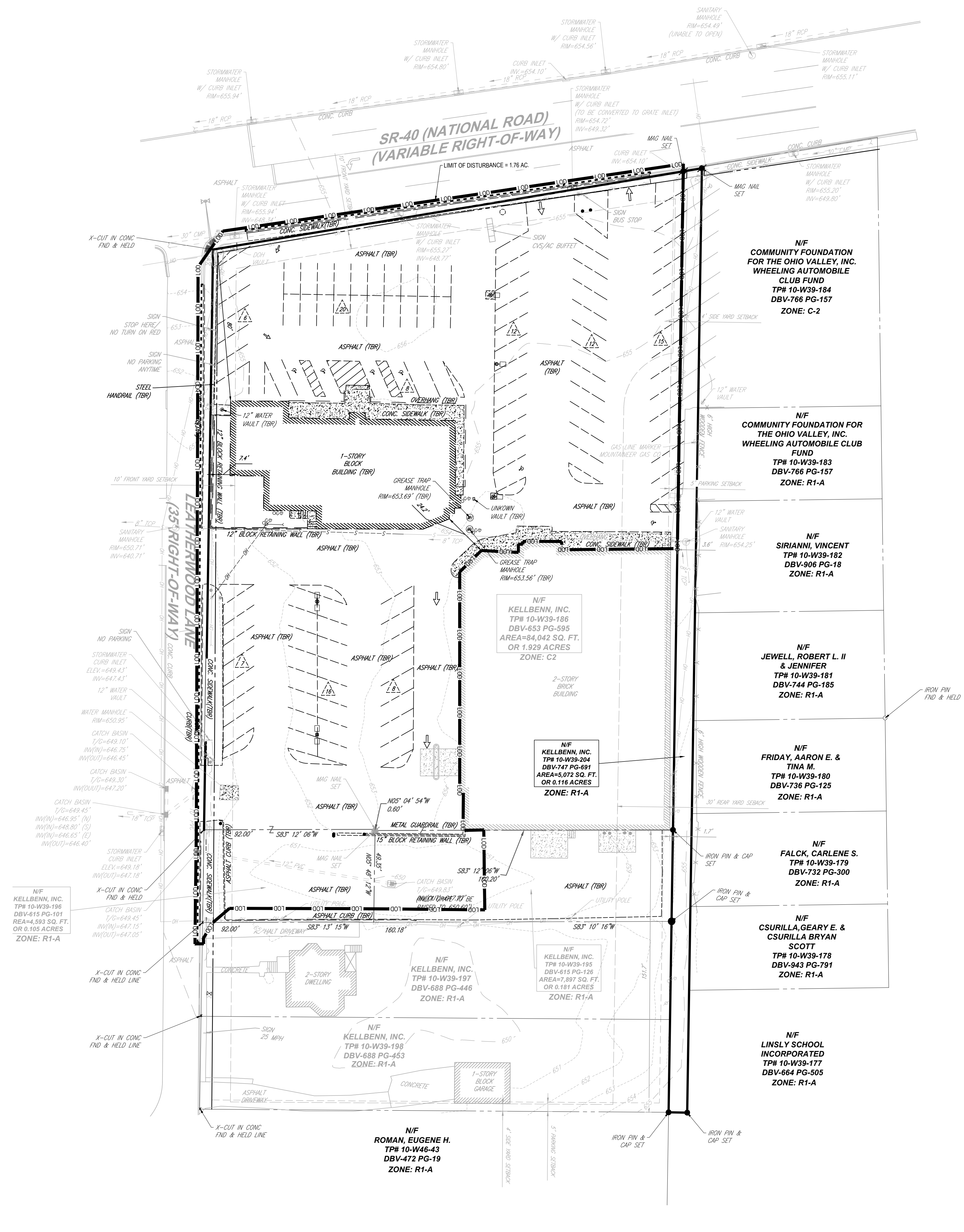
BOHLER
 1 ALLEGHENY SQUARE, SUITE 402
 PITTSBURGH, PA 15212
 Phone: (724) 638-8500
 www.BohlerEngineering.com

M.W. TAKACS
 REGISTERED LANDSCAPE ARCHITECT
 WEST VIRGINIA LICENSE No.

SHEET TITLE:
EXISTING CONDITIONS/ DEMOLITION PLAN

SHEET NUMBER:
C-201

ORG. DATE - 10/28/2022

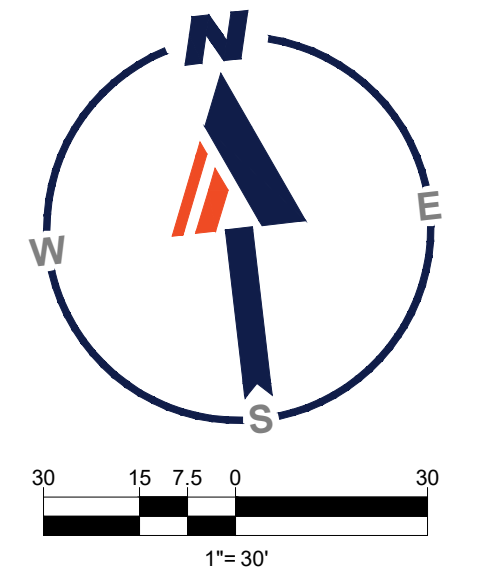


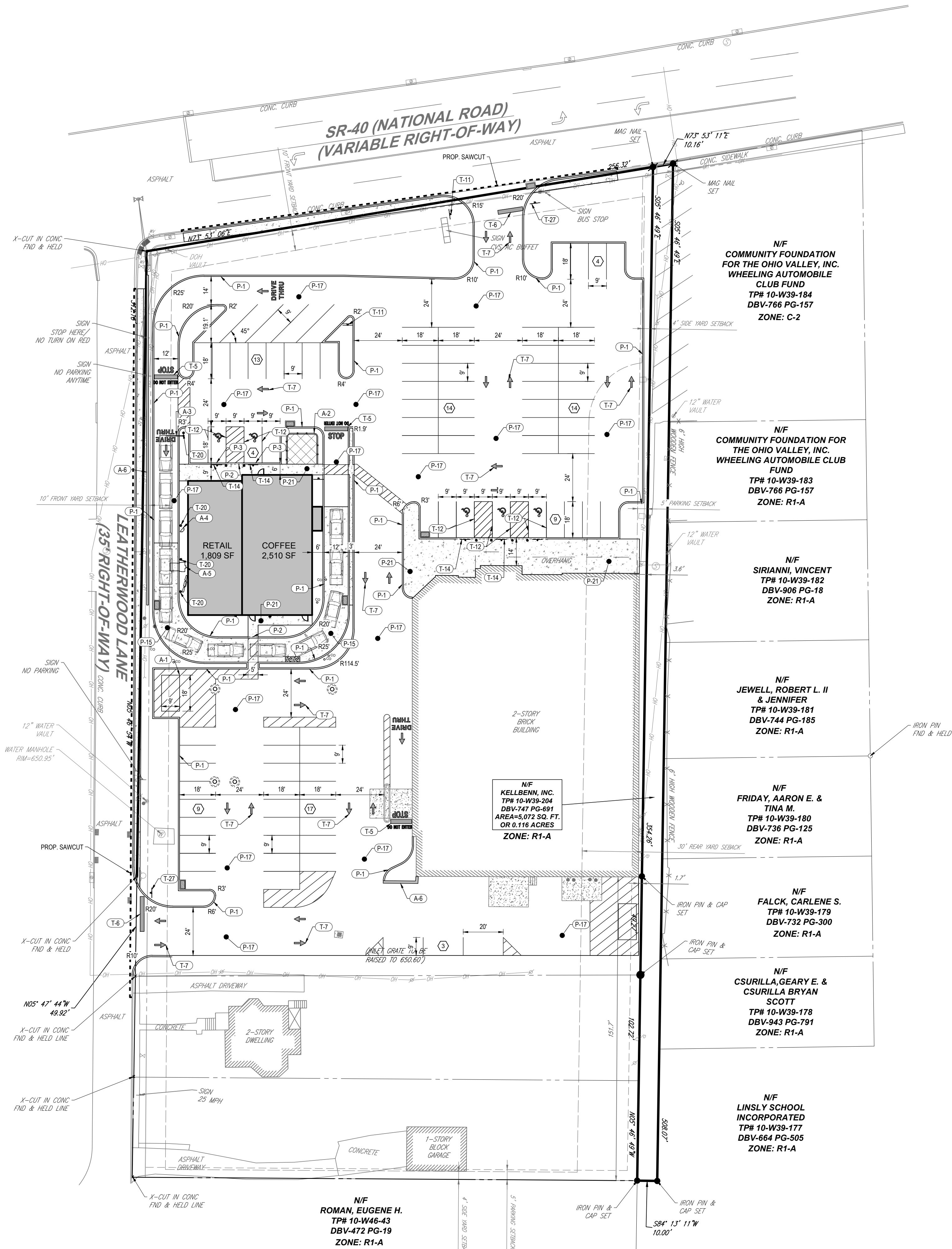
LEGEND
EXISTING

PROPERTY LINE	---
R.O.W. LINE	---
ADJACENT PROPERTY LINE	---
SETBACK LINE	---
BUILDING	[Symbol]
CONCRETE CURB	[Symbol]
FENCE	[Symbol]
GUIDE RAIL	[Symbol]
CONCRETE MONUMENT/ IRON PIN	[Symbol]
SIGN	[Symbol]
AREA LIGHT	[Symbol]
DRAINAGE INLET	[Symbol]
STORM/SANITARY MANHOLE	[Symbol]
WATER/GAS VALVES	[Symbol]
ROOF DRAIN/CLEANOUT	[Symbol]
FIRE HYDRANT	[Symbol]
UTILITY POLE W/ LIGHT	[Symbol]
UTILITY POLE	[Symbol]
OVERHEAD UTILITY WIRES	[Symbol]
SANITARY SEWER	[Symbol]
STORM PIPE	[Symbol]

LEGEND
TO BE REMOVED

PROPERTY LINE	---
ADJACENT PROPERTY LINE	---
LEASE LINE	---
BUILDING	[Symbol]
CONCRETE CURB	[Symbol]
GUIDE RAIL	[Symbol]
ACCESSIBLE SYMBOL	[Symbol]
CONCRETE MONUMENT/ IRON PIN	[Symbol]
PARKING COUNT	[Symbol]
AREA LIGHT	[Symbol]
DRAINAGE INLET	[Symbol]
STORM/SANITARY MANHOLE	[Symbol]
ROOF DRAIN/CLEANOUT	[Symbol]
UTILITY POLE	[Symbol]
OVERHEAD UTILITY WIRES	[Symbol]
STORM PIPE	[Symbol]





SITE CHARACTERISTICS

EXISTING ZONING: GENERAL COMMERCIAL (C2)

PROPOSED USE: RESTAURANT, RETAIL (PERMITTED BY RIGHT WITHIN C2 DISTRICT)

ZONING DISTRICT REQUIREMENTS

	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	10,000 SF	84,042 SF	122,134 SF
MIN. LOT FRONTAGE	75 FT	253.4 FT	NO CHANGE
MIN. LOT DEPTH	100 FT	310.4 FT	460.7 FT
MAX. FLOOR AREA RATIO	1.5	0.28	0.17
MIN. YARD SETBACKS			
FRONT	10 FT	80.0 FT	114.2 FT
2 SIDES	10 FT	N/A	N/A
1 SIDE	4 FT	1.7 FT (ENC)	1.7 FT (ENC)
SIDE (ABUTTING R1-A)	5 FT	1.7 FT (ENC)	1.7 FT (ENC)
REAR	15 FT	N/A	N/A
REAR (ABUTTING R1-A)	30 FT	N/A	N/A
MAX. HEIGHT	3 STORIES / 45 FT	2 STORIES	2 STORIES

PARKING REQUIREMENTS

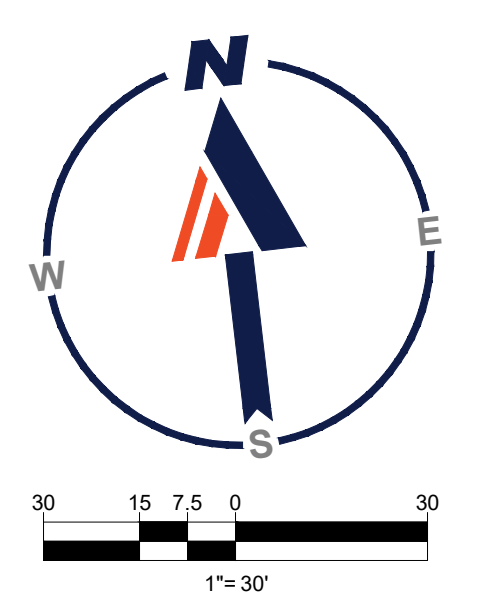
	MIN REQUIRED	EXISTING	PROPOSED
PARKING SPACES	RETAIL: 1 SPACE PER 250 SF GFA = 11,809 SF = 47 SPACES DINING: 1 SPACE PER 10 SF GFA = 10,510 SF = 25 SPACES TOTAL: 87 SPACES	104 SPACES	87 SPACES (INCLUDING 7 ADA SPACES)
DRIVE-THRU STACKING	100 FT STACKING LANE	N/A	235' (CENTERLINE OF DT LANE)

LEGEND EXISTING

- CONCRETE CURB
- FENCE
- GUIDE RAIL
- CONCRETE MONUMENT/ IRON PIN
- SIGN
- AREA LIGHT
- DRAINAGE INLET
- STORM/SANITARY MANHOLE
- WATER/GAS VALVES
- ROOF DRAIN/CLEANOUT
- FIRE HYDRANT
- UTILITY POLE W/ LIGHT
- UTILITY POLE
- OVERHEAD UTILITY WIRES

LEGEND PROPOSED

- PROPERTY LINE
- BUILDING
- RETAINING WALL
- CONCRETE CURB
- FLUSH CURB
- FENCE
- ACCESSIBLE SYMBOL
- CROSSWALK
- SIDEWALK
- SIGN
- BOLLARD
- PARKING COUNT
- DRAINAGE INLET



BOHLER

SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

811

Know what's below. Call before you dig.

WEST VIRGINIA
YOU MUST CALL 811 BEFORE ANY EXCAVATION WHETHER IT'S ON PRIVATE OR PUBLIC LAND.
1-800-245-4848
www.wv811.com

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

PROJECT No.: PB214045
DRAWN BY: APM
CHECKED BY: MWT
DATE: 10/28/2022
CAD ID.: PB214045-LDVP-00

PRELIMINARY/ FINAL LAND DEVELOPMENT PLANS

FOR

KELLBENN, INC.

PROPOSED DEVELOPMENT

842 NATIONAL ROAD
CITY OF WHEELING
OHIO COUNTY, WV 26003

BOHLER

1 ALLEGHENY SQUARE, SUITE 402
PITTSBURGH, PA 15212
Phone: (724) 638-8500
www.BohlerEngineering.com

M.W. TAKACS

REGISTERED LANDSCAPE ARCHITECT
WEST VIRGINIA LICENSE No.

SHEET TITLE:

SITE PLAN

SHEET NUMBER:

C-301

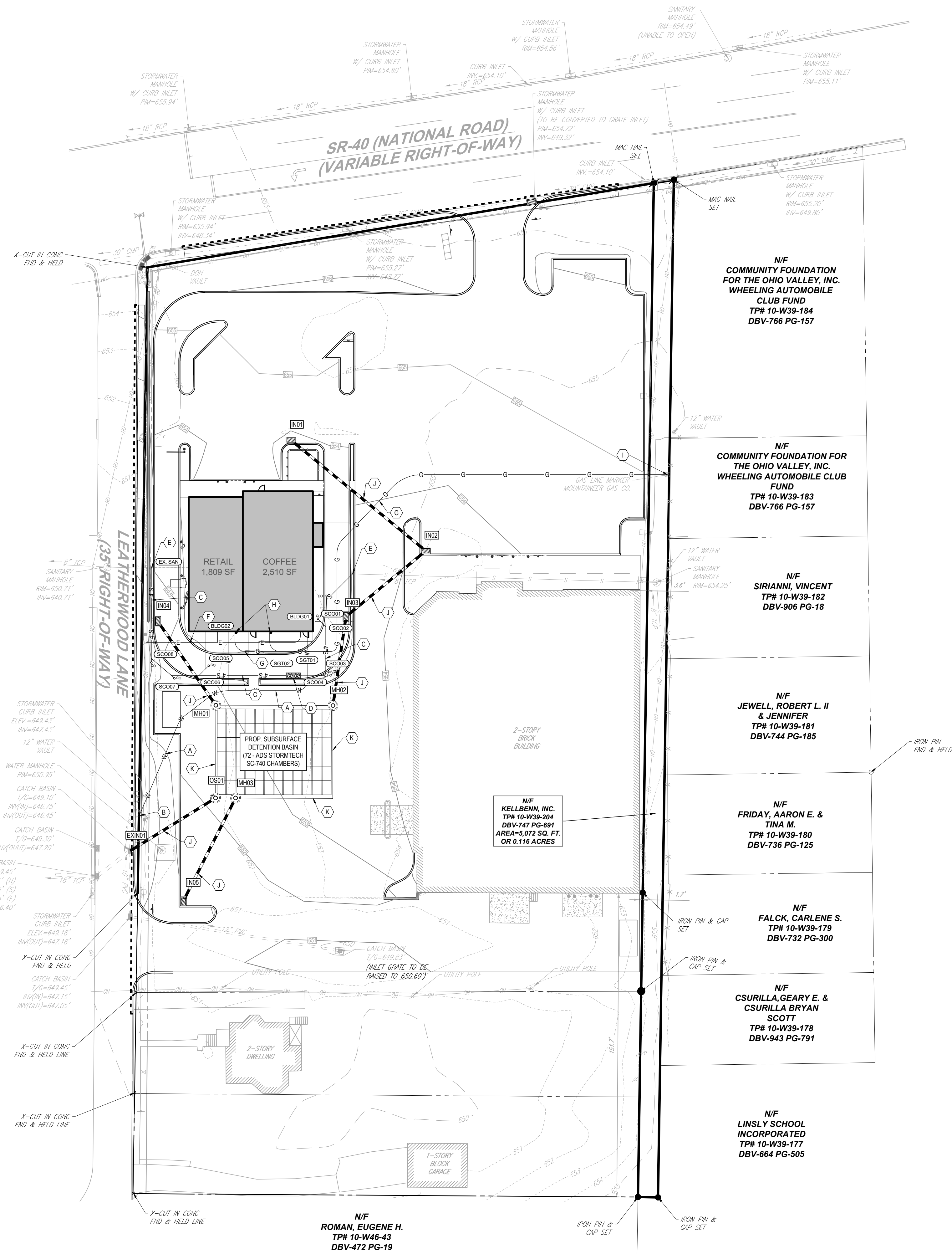
ORG. DATE - 10/28/2022

STORM STRUCTURE SCHEDULE			
NAME	TYPE	GRT/RIM ELEV. (FT.)	INVERTS
EXIN01	STANDARD BOX	650.50'	INV IN = 646.55'
IN01	STANDARD BOX	653.81'	INV OUT = 650.06'
IN02	STANDARD BOX	653.54'	INV IN = 648.75' INV OUT = 648.55'
IN03	STANDARD BOX	653.19'	INV IN = 647.78' INV OUT = 647.58'
IN04	STANDARD BOX	652.80'	INV OUT = 649.33'
IN05	STANDARD BOX	651.38'	INV OUT = 647.36'
MH01	TYPE 4	652.83'	INV IN = 646.78'
MH02	TYPE 4	653.62'	INV IN = 646.78'
MH03	TYPE 4	652.40'	INV IN = 646.78'
OS01	TYPE 4	652.17'	INV OUT = 647.05'

STORM SEWER PIPE SCHEDULE				
FROM	TO	SIZE (IN.)	LENGTH (FT.)	SLOPE(%)
IN01	IN02	15"	87	1.50%
IN02	IN03	15"	52	1.50%
IN03	MH02	15"	45	1.78%
IN04	MH01	15"	51	5.00%
IN05	MH03	15"	58	1.00%
OS01	EXIN01	15"	50	1.00%

SANITARY STRUCTURE SCHEDULE			
NAME	TYPE	RIM ELEV. (FT.)	INVERTS
BLDG01	4 INCH CYLINDRICAL STRUCTURE	654.40	INV OUT = 650.50'
BLDG02	4 INCH CYLINDRICAL STRUCTURE	654.50	INV OUT = 647.69'
EX SAN	NULL STRUCTURE	642.14	INV IN = 641.79'
SC001	4 INCH CYLINDRICAL STRUCTURE	654.11	INV IN = 650.34' INV OUT = 650.34'
SC002	4 INCH CYLINDRICAL STRUCTURE	653.50	INV IN = 650.15' INV OUT = 650.15'
SC003	4 INCH CYLINDRICAL STRUCTURE	653.94	INV IN = 648.93' INV OUT = 648.93'
SC004	4 INCH CYLINDRICAL STRUCTURE	653.96	INV IN = 648.75' INV OUT = 648.75'
SC005	4 INCH CYLINDRICAL STRUCTURE	653.39	INV IN = 646.08' INV OUT = 646.08'
SC006	4 INCH CYLINDRICAL STRUCTURE	653.30	INV IN = 645.58' INV IN = 645.68' INV OUT = 645.58'
SC007	4 INCH CYLINDRICAL STRUCTURE	653.35	INV IN = 644.87' INV OUT = 644.87'
SC008	4 INCH CYLINDRICAL STRUCTURE	652.00	INV IN = 644.13' INV OUT = 644.13'
SGT01	4 INCH CYLINDRICAL STRUCTURE	653.56	INV IN = 648.23' INV OUT = 648.23'
SGT02	4 INCH CYLINDRICAL STRUCTURE	653.64	INV IN = 647.85' INV OUT = 647.85'

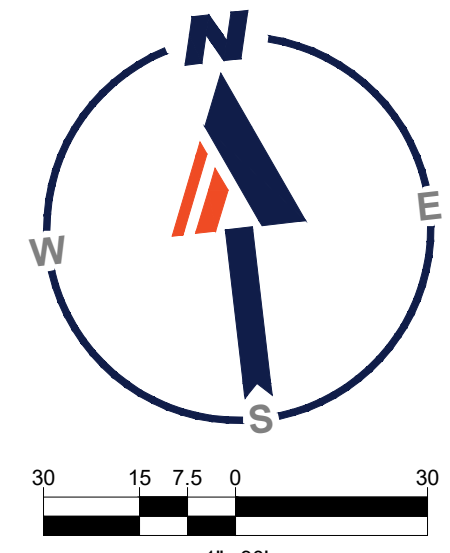
SANITARY PIPE SCHEDULE				
FROM	TO	SIZE IN.	SLOPE %	LENGTH FT.
BLDG01	SC001	4	5.57%	2.91
BLDG02	SC005	4	8.66%	18.59
SC001	SC002	4	5.20%	3.54
SC002	SC003	4	5.21%	23.47
SC003	SC004	4	6.80%	2.71
SC004	SGT01	4	5.29%	9.82
SC005	SC006	4	8.00%	5.00
SC006	SC007	4	5.20%	13.59
SC007	SC008	4	5.61%	13.23
SC008	EX SAN	4	5.20%	45.01
SGT01	SGT02	4	5.08%	7.43
SGT02	SC006	4	5.20%	43.66



LEGEND	
PROPOSED UTILITIES	
(A)	PROPOSED 2.5" K-COPPER WATER SERVICE IN ACCORDANCE WITH CITY WATER DEPARTMENT REGULATIONS AND SPECIFICATIONS.
(B)	GC TO CONNECT TO EXISTING WATER MAIN PER AUTHORITY REGULATIONS. GC SHALL VERIFY SIZE, LOCATION AND CONDITION OF EXISTING SERVICE LINE PRIOR TO CONNECTION.
(C)	PROPOSED 4" PVC SDR-26 SANITARY LATERAL AT MINIMUM 2.00% SLOPE IN ACCORDANCE WITH SEWER AUTHORITY. REFER TO SANITARY PIPE SCHEDULE.
(D)	PROPOSED GREASE TRAP.
(E)	GC TO CONNECT TO EXISTING SANITARY SEWER PER WATER AUTHORITY REGULATIONS. GC SHALL VERIFY SIZE, LOCATION AND CONDITION OF EXISTING SERVICE LINE PRIOR TO CONNECTION.
(F)	PROPOSED UNDERGROUND ELECTRICAL AND TELEPHONE CONDUITS IN ACCORDANCE WITH SERVICE PROVIDERS REGULATIONS AND SPECIFICATIONS. GC TO COORDINATE WITH SERVICE PROVIDERS PRIOR TO CONSTRUCTION.
(G)	PROPOSED GAS SERVICE IN ACCORDANCE WITH AUTHORITY REGULATIONS AND SPECIFICATIONS.
(H)	PROPOSED GAS ENTRY WITH GAS METER. SEE ARCHITECTURAL PLANS.
(I)	GC TO CONNECT TO EXISTING GAS PER SERVICE PROVIDER REGULATIONS. GC SHALL VERIFY SIZE, LOCATION AND CONDITION OF EXISTING SERVICE LINE PRIOR TO CONNECTION.
(J)	PROPOSED HDPE STORM PIPE. REFER TO STORM SEWER PIPE SCHEDULE.
(K)	PROPOSED ADS STORMTECH SC-740 CHAMBERS.

LEGEND	
EXISTING	
CONCRETE CURB	---
FENCE	---
GUIDE RAIL	---
CONCRETE MONUMENT/ IRON PIN	●
SIGN	---
AREA LIGHT	---
DRAINAGE INLET	---
STORM/SANITARY MANHOLE	---
WATER/GAS VALVES	---
ROOF DRAIN/CLEANOUT	---
FIRE HYDRANT	---
UTILITY POLE W/ LIGHT	---
UTILITY POLE	---
OVERHEAD UTILITY WIRES	---
SANITARY SEWER	---
STORM PIPE	---

LEGEND	
PROPOSED	
PROPERTY LINE	---
BUILDING	---
RETAINING WALL	---
CONCRETE CURB	---
FLUSH CURB	---
FENCE	---
ACCESSIBLE SYMBOL	---
CROSSWALK	---
SIDEWALK	---
SIGN	---
BOLLARD	---
PARKING COUNT	---
DRAINAGE INLET	---
CLEANOUT	---
FIRE HYDRANT	---
UTILITY POLE	---
OVERHEAD UTILITY WIRES	---
ELECTRIC LINE	---
TELEPHONE LINE	---
GAS LINE	---
WATER LINE	---
SANITARY SEWER	---
STORM PIPE	---



BOHLER
 SITE CIVIL AND CONSULTING ENGINEERING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS			
REV	DATE	COMMENT	DRAWN BY

811
 Know what's below.
 Call before you dig.
 WEST VIRGINIA
 YOU MUST CALL 811 BEFORE ANY EXCAVATION
 WHETHER IT'S ON PRIVATE OR PUBLIC LAND.
 1-800-245-4848
 www.wv811.com

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: PB214045
 DRAWN BY: APM
 CHECKED BY: MWT
 DATE: 10/28/2022
 CAD ID: PB214045-LDVP-00

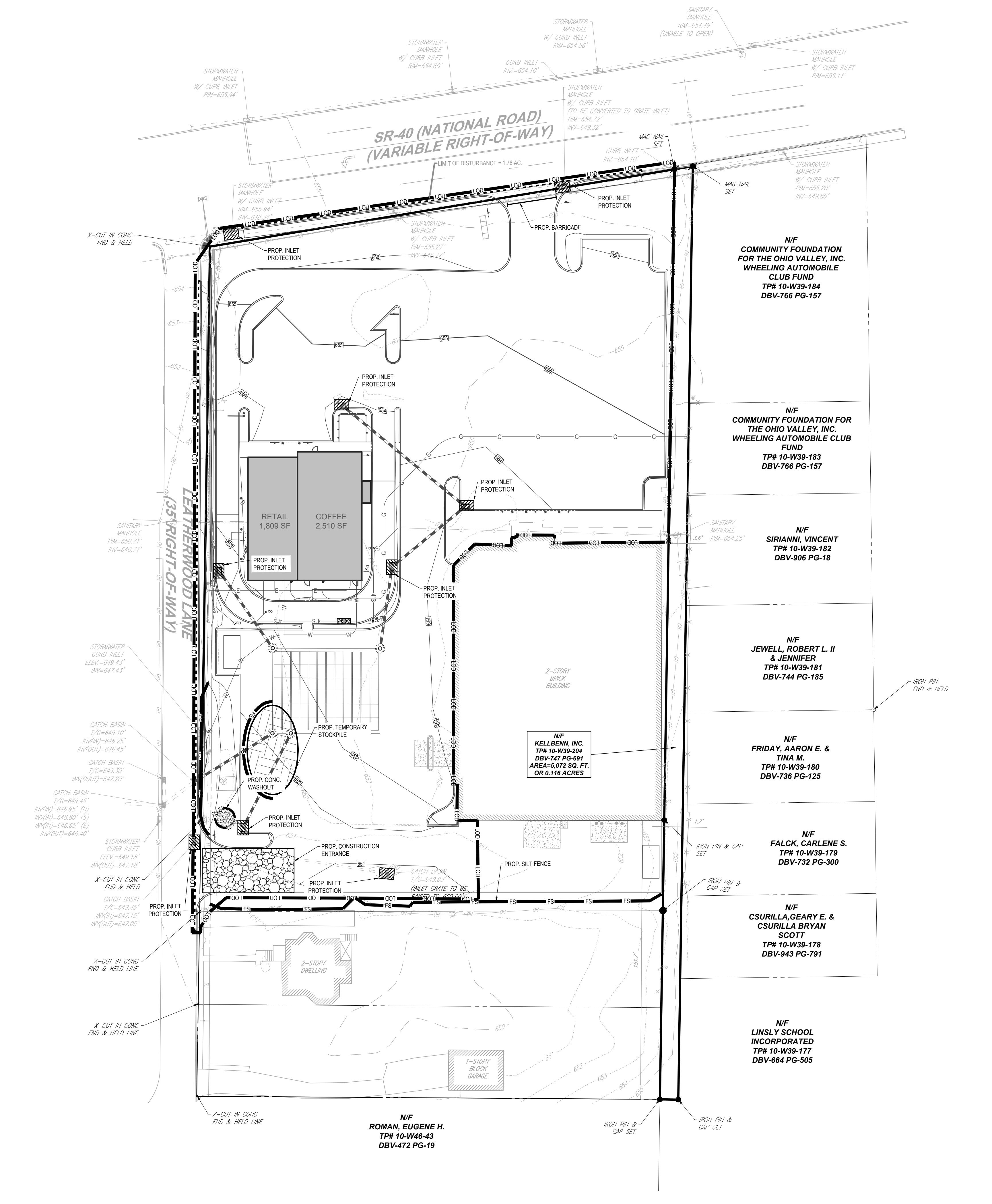
PROJECT:
PRELIMINARY/ FINAL LAND DEVELOPMENT PLANS
 FOR
KELLBENN, INC.
 PROPOSED DEVELOPMENT
 842 NATIONAL ROAD
 CITY OF WHEELING
 OHIO COUNTY, WV 26003

BOHLER
 1 ALLEGHENY SQUARE, SUITE 402
 PITTSBURGH, PA 15212
 Phone: (724) 638-8500
 www.BohlerEngineering.com

M.W. TAKACS
 REGISTERED LANDSCAPE ARCHITECT
 WEST VIRGINIA LICENSE No.

SHEET TITLE:
UTILITY PLAN
 SHEET NUMBER:
C-501
 ORG. DATE - 10/28/2022

R:\31\1045\CADD\DRAWINGS\PLAN SET\CIVIL SITE PLANS\PB214045-LDVP-00-...-LAYOUT: C-501 UTILITY



REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY



Know what's below. Call before you dig.
 WEST VIRGINIA
 YOU MUST CALL 811 BEFORE ANY EXCAVATION
 WHETHER IT'S ON PRIVATE OR PUBLIC LAND.
 1-800-245-4848
 www.wv811.com

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.:	PB214045
DRAWN BY:	APM
CHECKED BY:	MVT
DATE:	10/28/2022
CAD I.D.:	PB214045-LDVP-00

PRELIMINARY/FINAL LAND DEVELOPMENT PLANS

KELLBENN, INC.

PROPOSED DEVELOPMENT
 842 NATIONAL ROAD
 CITY OF WHEELING
 OHIO COUNTY, WV 26003

BOHLER

1 ALLEGHENY SQUARE, SUITE 402
 PITTSBURGH, PA 15212
 Phone: (724) 638-8500

www.BohlerEngineering.com

M.W. TAKACS

REGISTERED LANDSCAPE ARCHITECT
 WEST VIRGINIA LICENSE No.

SOIL EROSION & SEDIMENT POLLUTION CONTROL PLAN

SHEET NUMBER:
C-601

ORG. DATE - 10/28/2022

LEGEND

EXISTING

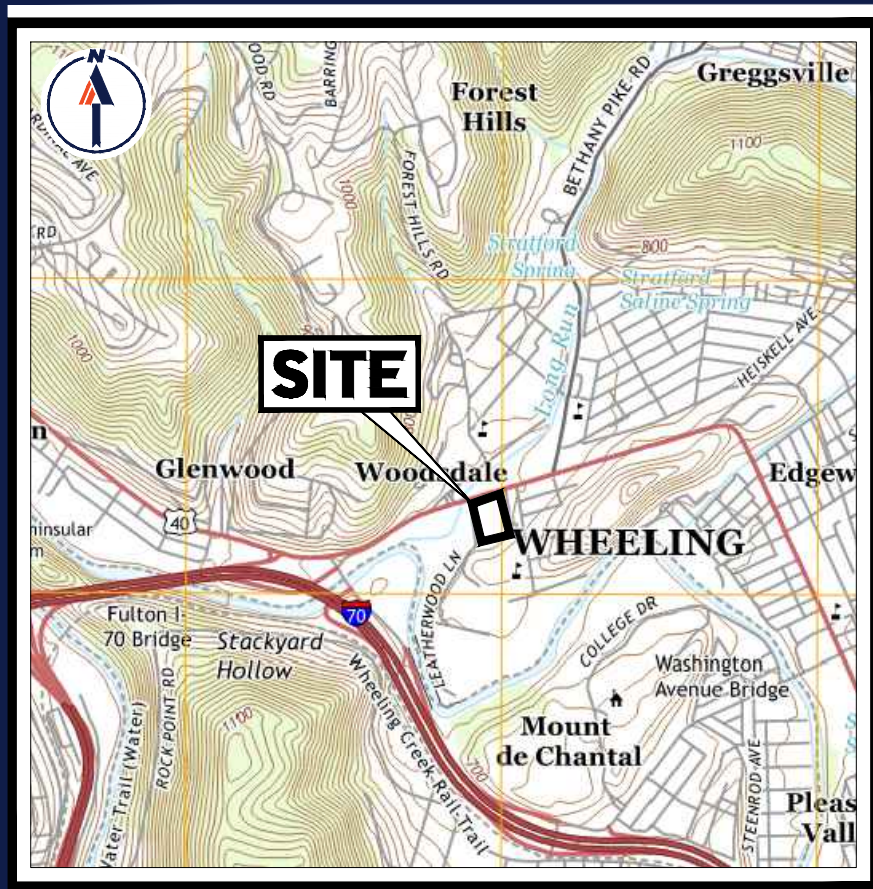
CONCRETE CURB	—
FENCE	—
GUIDE RAIL	—
CONCRETE MONUMENT/ IRON PIN	●
SIGN	—
AREA LIGHT	—
DRAINAGE INLET	—
STORM/SANITARY MANHOLE	⊗
WATER/GAS VALVES	⊗
ROOF DRAIN/CLEANOUT	⊗
FIRE HYDRANT	⊗
UTILITY POLE W/ LIGHT	—
UTILITY POLE	—
OVERHEAD UTILITY WIRES	—
SANITARY SEWER	—
STORM PIPE	—

LEGEND

PROPOSED

LIMIT OF DISTURBANCE/ NPDOS BOUNDARY	—
COMPOST FILTER SOCK	—
BARRICADE	—
CONCRETE WASHOUT	—
TEMPORARY STOCKPILE	—
ROCK CONSTRUCTION ENTRANCE	—
INLET PROTECTION	—





USGS MAP

SCALE: 1" = 2,000'
SOURCE: USGS



SOIL MAP

SCALE: 1" = 200'
SOURCE: WEB SOIL SURVEY

LOCATION OF ALL SURFACE WATERS

THE SUBJECT SITE IS LOCATED WITHIN THE HUC 12 LONG RUN - WHEELING CREEK WATERSHED.

RECYCLING OR DISPOSAL OF MATERIALS

THE FOLLOWING IS A LIST THAT INCLUDES, BUT THAT IS NOT LIMITED TO, THE POTENTIAL CONSTRUCTION WASTES THAT MAY EXIST ON-SITE:

- CONCRETE CURB AND SIDEWALK
- ASPHALT
- E&S BMP - SILT FENCE
- E&S BMP - INLET PROTECTION
- E&S BMP - REGULATED FILL MATERIALS

ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE WV DEPS SOLID WASTE MANAGEMENT REGULATIONS. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE. BELOW IS A LIST OF METHODS FOR THE PROPER RECYCLING/DISPOSAL OF VARIOUS MATERIALS:

- 1.) DUST CONTROL - CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE SITE AT THE STABILIZED CONSTRUCTION ENTRANCE. THE PURPOSE IS TO TRAP DUST AND MUD THAT WOULD OTHERWISE BE CARRIED OFF-SITE BY CONSTRUCTION TRAFFIC. WATER TRUCKS WILL BE USED AS NEEDED DURING CONSTRUCTION TO REDUCE DUST GENERATED ON THE SITE. DUST CONTROL MUST BE PROVIDED BY THE CONTRACTOR TO A DEGREE THAT IS ACCEPTABLE TO THE LOCAL CONSERVATION DISTRICT. AFTER CONSTRUCTION, THE SITE WILL BE STABILIZED, WHICH WILL REDUCE THE POTENTIAL FOR DUST GENERATION.
- 2.) SOLID WASTE DISPOSAL - NO SOLID MATERIALS, INCLUDING BUILDING MATERIALS, ARE ALLOWED TO BE DISCHARGED FROM THE SITE WITH STORMWATER. ALL SOLID WASTE, INCLUDING DISASSEMBLABLE MATERIALS INCIDENTAL TO THE MAJOR CONSTRUCTION ACTIVITIES, MUST BE COLLECTED AND PLACED IN CONTAINERS. THE CONTAINERS WILL BE EMPTIED AS NECESSARY BY A CONTRACT TRASH DISPOSAL SERVICE AND HAULED AWAY FROM THE SITE.
- 3.) SANITARY FACILITIES - ALL PERSONNEL INVOLVED WITH CONSTRUCTION ACTIVITIES MUST COMPLY WITH STATE AND LOCAL SANITARY OR SEPTIC SYSTEM REGULATIONS. TEMPORARY SANITARY FACILITIES WILL BE PROVIDED AT THE SITE THROUGHOUT THE CONSTRUCTION PHASE. THEY MUST BE UTILIZED BY ALL CONSTRUCTION PERSONNEL AND WILL BE SERVICED BY A LICENSED COMMERCIAL OPERATOR.
- 4.) WATER SOURCE - NON-STORMWATER COMPONENTS OF SITE DISCHARGE MUST BE CLEAN WATER. WATER USED FOR CONSTRUCTION WHICH DISCHARGES FROM THE SITE MUST ORIGINATE FROM A PUBLIC WATER SUPPLY OR PRIVATE WELL APPROVED BY THE STATE HEALTH DEPARTMENT. WATER USED FOR CONSTRUCTION THAT DOES NOT ORIGINATE FROM AN APPROVED PUBLIC SUPPLY MUST NOT DISCHARGE FROM THE SITE.
- 5.) CONCRETE WASTE FROM CONCRETE READY-MIX TRUCKS - DISCHARGE OF EXCESS OR WASTE CONCRETE AND/OR WASH WATER FROM CONCRETE TRUCKS WILL BE ALLOWED ON THE CONSTRUCTION SITE, BUT ONLY IN SPECIFICALLY DESIGNATED DIKED AREAS PREPARED TO PREVENT CONTACT BETWEEN THE CONCRETE AND/OR WASH WATER AND STORMWATER THAT WILL BE DISCHARGED FROM THE SITE.

POTENTIAL THERMAL IMPACTS TO SURFACE WATERS

A POTENTIAL FOR THERMAL IMPACTS EXISTS IN INSTANCES WHERE SURFACE RUNOFF IS DIRECTLY CONVEYED TO A RECEIVING STREAM WITHOUT ADEQUATE ATTENUATION OR CONVEYED TO A RECEIVING STREAM WITHOUT ADEQUATE ATTENUATION OR CONVEYED TO A RECEIVING STREAM WITHOUT ADEQUATE ATTENUATION. TO AVOID THERMAL IMPACTS, THE FOLLOWING ARE PROPOSED: SILT FENCE SOCKS DURING CONSTRUCTION, LANDSCAPING. ALL OF THOSE MEASURES WILL HELP TO CONTROL RUNOFF VOLUME AND RATE AND THEREBY PROVIDE ADDITIONAL COOLING TIME, THEREBY MINIMIZING THERMAL IMPACTS TO THE RECEIVING STREAM.

E&S PLAN PLANNING & DESIGN

- THE FOLLOWING MEASURES ARE TAKEN TO MINIMIZE THE EXTENT AND DURATION OF EARTH DISTURBANCE:
- ACCESS THE SITE THRU DESIGNATED CONSTRUCTION ENTRANCE
 - SEQUENCE CONSTRUCTION ACTIVITIES BY LIMITING DISTURBANCES TO A SPECIFIC TASK SUCH THAT EACH TASK IS COMPLETED BEFORE THE NEXT TASK IS INITIATED

- THE FOLLOWING MEASURES ARE TAKEN TO MAXIMIZE PROTECTION OF EXISTING DRAINAGE FEATURES AND VEGETATION:
- ACCESS THE SITE THRU DESIGNATED CONSTRUCTION ENTRANCE

- THE FOLLOWING MEASURES ARE TAKEN TO MINIMIZE SOIL COMPACTION:
- ACCESS THE SITE THRU DESIGNATED CONSTRUCTION ENTRANCE
 - USE OF TREADED MACHINERY WHERE PRACTICAL DURING EARTHMOVING OPERATIONS
 - GRADE SITE TO MINIMIZE EXTENT OF CUTS/FILLS

- THE FOLLOWING MEASURES ARE TAKEN TO PREVENT OR MINIMIZE GENERATION OF INCREASED STORM WATER RUNOFF:
- DIRECT RUNOFF TO AN INLETS AND UNDERGROUND BASIN TO CONTROL RUNOFF RATES
 - PROVIDE LANDSCAPING TO HELP REDUCE RUNOFF VOLUME

EXISTING/PROPOSED RIPARIAN FOREST BUFFERS

- REGARDING EXISTING OR PROPOSED RIPARIAN FOREST BUFFERS, NOTE THE FOLLOWING:
- THERE ARE NO EXISTING/PROPOSED RIPARIAN FOREST BUFFERS LOCATED WITHIN OR OUTSIDE THE LIMITS OF DISTURBANCE FOR THIS PROJECT.

OVERALL SITE CONSTRUCTION SEQUENCE

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED IN COMPLIANCE WITH THE EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICE MANUAL BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE. UPON COMPLETION OR TEMPORARY CESSATION OF THE EARTH DISTURBANCE ACTIVITY THAT WILL EXCEED FOUR (4) DAYS, OR ANY STAGE THEREOF, THE PROJECT SITE SHALL BE IMMEDIATELY STABILIZED WITH THE APPROPRIATE TEMPORARY OR PERMANENT STABILIZATION.

AT LEAST SEVEN (7) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES INCLUDING, BUT NOT LIMITED TO, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS AND A REPRESENTATIVE OF THE OHIO COUNTY CONSERVATION DISTRICT FOR AN ON-SITE PRE-CONSTRUCTION MEETING. ALSO, AT LEAST THREE (3) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE WEST VIRGINIA ONE CALL SYSTEM INC. AT 1-800-245-4848 FOR BURIED UTILITIES LOCATION.

BEFORE INITIATING ANY REVISION TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE OHIO COUNTY CONSERVATION DISTRICT. THE OPERATOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.

1. INSTALL CONSTRUCTION ENTRANCE AND STAGING AREAS AS DESIGNATED ON THE PLANS.
2. INSTALL ALL PERIMETER SILT FENCE, FRET PROTECTION FENCING, CONSTRUCTION FENCING, (INLET PROTECTION) WITHIN THE DESIGNATED LIMIT OF DISTURBANCE AS INDICATED ON THE PLANS. ONLY LIMITED CLEARING AND GRUBBING NECESSARY TO INSTALL THE PERIMETER EROSION AND SEDIMENT POLLUTION CONTROLS IS PERMITTED.
3. CONSTRUCT SUBSURFACE DETENTION BASIN. ONLY LIMITED CLEARING AND GRUBBING IS PERMITTED FOR CONSTRUCTION OF ACCESS TO THE SUBSURFACE DETENTION BASIN. CONSTRUCTION OF THE BASIN SHALL INCLUDE THE NECESSARY CLEARING AND GRUBBING, EARTHWORK, INSTALLATION OF THE PERMANENT BASIN OUTFALL SYSTEM AND ALL OTHER BASIN FEATURES AS SHOWN ON THE PLANS AND DETAILS, AND ANY NECESSARY TEMPORARY STABILIZATION OF ALL DISTURBED AREAS. THE BASIN IS TO BE STABILIZED AND FUNCTIONING PROPERLY PRIOR TO ANY FURTHER EARTH DISTURBANCE ACTIVITIES. **UPON INSTALLATION OF THE BASIN RISER, AN IMMEDIATE INSPECTION OF THE RISER SHALL BE CONDUCTED BY A QUALIFIED SITE REPRESENTATIVE AND THE OHIO COUNTY CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING THAT THE RISER IS INSTALLED AND SEALED, PER PLAN. SEDIMENT BASINS MUST BE PROTECTED FROM UNAUTHORIZED ACTS OF THIRD PARTIES. REFER TO THE SEDIMENT BASIN SOIL CONSERVATION DISTRICT MONITORING, INSPECTION AND REPORTING REQUIREMENTS PROVIDED ON THE SOIL EROSION AND SEDIMENT POLLUTION CONTROL NOTES FOR ADDITIONAL SEDIMENT BASIN REQUIREMENTS DURING CONSTRUCTION.**
4. ONCE SUBSURFACE BASIN IS CONSTRUCTED, STABILIZED AND FUNCTIONING PROPERLY, INITIATE THE NECESSARY EARTHWORK TO REACH THE GRADES INDICATED ON THE PLANS. BUILDING CONSTRUCTION MAY COMMENCE UPON ACCEPTANCE OF BUILDING PAD BY OWNER. THE CONCRETE WASHOUT MUST BE INSTALLED BEFORE ANY CONCRETE CAN BE POURED ON-SITE. CONTRACTOR MUST PERFORM BULK OF EARTHWORK TO BALANCE CUTS AND FILLS TO THE GREATEST EXTENT POSSIBLE. ALL AREAS DISTURBED DURING THE EARTHWORK PHASE OF CONSTRUCTION MUST BE TEMPORARILY SEEDED AND STABILIZED IN ACCORDANCE WITH THE GENERAL CONSERVATION NOTES AND SPECIFICATIONS AND SEEDING SPECIFICATIONS IF PERMANENT STABILIZATION CANNOT BE ACHIEVED WITHIN FOUR (4) DAYS (IMMEDIATELY FOR H2O/EV WATERSHEDS).
5. INITIATE STORM SEWER (AND SUBSURFACE BASIN) INSTALLATIONS FOR THE FEATURES SHOWN ON THE PLANS STARTING AT THE FURTHEST DOWNSTREAM STRUCTURE. (SEE ADDITIONAL INFILTRATION FACILITY SEQUENCING, INSTALLATION AND MAINTENANCE & INSPECTION NOTES PROVIDED ON THE POST CONSTRUCTION STORMWATER MANAGEMENT PLANS FOR CONSTRUCTION OF THE SUBSURFACE INFILTRATION BASINS. **THE PERMITTEE SHALL PROVIDE ENGINEERING OVERSIGHT FOR THE CONSTRUCTION OF SUBSURFACE BASINS. A LICENSED PROFESSIONAL OR DESIGNED KNOWLEDGEABLE IN THE DESIGN AND CONSTRUCTION OF SUBSURFACE BASINS, PREFERABLY THE DESIGN ENGINEER, SHALL CONDUCT THE OVERSIGHT. INLETS DISCHARGING TO SUBSURFACE INFILTRATION BASINS MUST BE BLOCKED IMMEDIATELY AFTER INSTALLATION AND REMAIN BLOCKED UNTIL SITE IS FULLY STABILIZED TO PREVENT SEDIMENT FROM ENTERING THE SUBSURFACE DETENTION BASINS. NO CONSTRUCTION EQUIPMENT, SUCH AS CRANES DURING BUILDING CONSTRUCTION, SHALL BE PARKED ON TOP OF THE SUBSURFACE BASINS TO AVOID DAMAGING THE SUBSURFACE BASINS OR OVER-COMPACTING THE SUBSURFACE SOILS.)**
6. CONTINUE WITH THE BALANCE OF EARTHWORK INCLUDING UTILITY INSTALLATION (SANITARY, ELECTRIC, TELEPHONE, CABLE AND GAS) WHERE APPLICABLE.
7. INSTALL ALL CURBING SHOWN IN THIS PHASE AND INSTALL STONE BASE COURSE IN THE DRIVEWAY AND PARKING AREAS.
8. INITIATE FINAL GRADING AND PLACEMENT OF TOPSOIL IN ALL LANDSCAPE AREAS, AS SOON AS SLOPES, CHANNELS, DITCHES AND OTHER DISTURBED AREAS REACH FINAL GRADE. THEY MUST BE STABILIZED. ALL LANDSCAPE AREAS MUST BE STABILIZED AND PERMANENT SEEDING OR PLANTING BE NOTIFIED IN WRITING THAT THE PROPER RISER IS INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PHASE. SEEDING AND PLANTING MUST BE COMPLETED WITHIN FOUR (4) MONTHS. THE AREA SHOULD BE MULCHED UNTIL THE BEGINNING OF THE NEXT PLANTING SEASON. HOWEVER, THE AREA WILL NOT BE CONSIDERED STABILIZED UNTIL A MINIMUM UNIFORM 70% VEGETATIVE COVER OF EROSION RESISTANT PERENNIAL SPECIES HAS BEEN ACHIEVED. AS DISTURBED AREAS WITHIN A PROJECT APPROACH FINAL GRADE, PREPARATIONS SHOULD BE MADE FOR SEEDING AND MULCHING TO BEGIN I.E. ANTICIPATE THE COMPLETION DATE AND SCHEDULE THE SEEDING). IN NO CASE SHOULD AN AREA EXCEEDING 15,000 SQUARE FEET, WHICH IS TO BE STABILIZED BY VEGETATION, REACH FINAL GRADE WITHOUT BEING SEEDED AND MULCHED. WAITING UNTIL EARTHMOVING IS COMPLETED BEFORE MAKING PREPARATIONS FOR SEEDING AND MULCHING IS NOT ACCEPTABLE. SEEDING AND MULCHING REQUIREMENTS ARE SPECIFIED IN THE GENERAL CONSERVATION NOTES AND SPECIFICATIONS.
9. A SITE INSPECTION AND APPROVAL BY THE CONSERVATION DISTRICT IS REQUIRED PRIOR TO REMOVAL OR CONVERSION OF SEDIMENT TRAPS AND BASINS. ONCE STONE BASE COURSE HAS BEEN SPREAD IN ALL PAVED AREAS AND ALL LANDSCAPE AREAS HAVE BEEN STABILIZED, BEGIN CONVERTING (SEEDMENT BASIN, SEDIMENT TRAP, BIO-RETENTION FACILITIES, RAINGARDENS, BIO-INFILTRATION FACILITIES) TO FINAL GRADERS IN ACCORDANCE WITH BMP SEQUENCE OF CONSTRUCTION. **THE PERMITTEE SHALL PROVIDE ENGINEERING OVERSIGHT FOR THE CONVERSION OF (INSERT BMP'S). A LICENSED PROFESSIONAL OR DESIGNED KNOWLEDGEABLE IN THE DESIGN AND CONSTRUCTION OF (INSERT BMP'S), PREFERABLY THE DESIGN ENGINEER, SHALL CONDUCT THE OVERSIGHT.**

10. INSTALL BITUMINOUS PAVEMENT AND CONCRETE INCLUDING SIDEWALKS.
11. INSTALL FINAL VEGETATION AND LANDSCAPING SPECIFIED ON THE LANDSCAPE PLAN.
12. UPON SITE STABILIZATION (UNIFORM COVERAGE OR DENSITY OF 70% ACROSS ALL DISTURBED AREAS) AND NOTIFICATION OF THE OHIO COUNTY CONSERVATION DISTRICT, REMOVE EROSION AND SEDIMENT CONTROL FACILITIES INCLUDING (LIST APPROPRIATE E&S CONTROLS). ANY AREA DISTURBED DURING THE REMOVAL OF EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE STABILIZED IMMEDIATELY.
13. CLEAR SITE OF DEBRIS AND ALL UNWANTED MATERIALS. OPERATOR SHALL REMOVE FROM SITE, RECYCLE OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP OR DISCHARGE ANY BUILDING MATERIAL OR WASTE AT THIS SITE.
14. DEMOBILIZE.
15. A NOTICE OF TERMINATION FORM SHOULD BE SUBMITTED TO THE OHIO COUNTY CONSERVATION DISTRICT UPON STABILIZATION AND FINAL COMPLETION OF THIS PROJECT.

E&S - GENERAL NOTES:

1. THIS PLAN REPRESENTS THE MINIMUM LEVEL OF IMPLEMENTATION OF TEMPORARY EROSION AND SEDIMENTATION CONTROL STRUCTURES. ADDITIONAL FACILITIES OR MEASURES SHALL BE INSTALLED WHERE NECESSARY OR WHERE DIRECTED BY EITHER THE TOWNSHIP OR THE COUNTY CONSERVATION DISTRICT AS CONSTRUCTION PROGRESSES.
2. THE OWNER/CONSTRUCTION MANAGER IS RESPONSIBLE FOR ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROLS AND SITE STABILIZATION. THE OWNER SHALL ASSIGN ONE INDIVIDUAL TO BE RESPONSIBLE FOR PROPER INSTALLATION AND MAINTENANCE OF ALL FACILITIES AND MEASURES.
3. PROTECTION TO THE EXISTING TREES AND SHRUBS SHALL BE TAKEN BY THE CONTRACTOR TO ELIMINATE UNNECESSARY DAMAGE.
4. ANY DRY FILL HAULED OFFSITE MUST BE TAKEN TO A LOCATION WITH AN EROSION AND SEDIMENTATION CONTROL PLAN WHICH HAS BEEN REVIEWED BY THE COUNTY CONSERVATION DISTRICT FOR ADEQUACY.
5. EROSION AND SEDIMENTATION CONTROLS MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE WITHIN TRIBUTARY AREAS OF THOSE CONTROLS.
6. STOCKPILES MUST BE STABILIZED IMMEDIATELY.
7. NO CHANGES SHALL BE MADE IN THE CONTOUR OF THE LAND, NO GRADING, EXCAVATING, REMOVAL OR DESTRUCTION OF THE TOWNSHIP TREES OR OTHER VEGETATIVE COVER OF THE LAND SHALL BE COMMENCED WITHIN A PROPOSED SUBDIVISION OR LAND DEVELOPMENT TRACT UNTIL SUCH TIME THAT A PLAN FOR SEDIMENTATION CONTROL AND MINIMIZING EROSION HAS BEEN REVIEWED AND FOUND SATISFACTORY BY THE COUNTY CONSERVATION DISTRICT AND REVIEWED AND APPROVED BY THE TOWNSHIP, OR THERE HAS BEEN A DETERMINATION BY THE TOWNSHIP, UPON RECOMMENDATION BY THE COUNTY CONSERVATION DISTRICT, THAT SUCH PLANS ARE NOT NECESSARY.
8. BEFORE INITIATING ANY REVISIONS TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE COUNTY CONSERVATION DISTRICT.
9. THE OPERATOR SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, APPROVED BY THE COUNTY CONSERVATION DISTRICT, AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL SOIL AND/OR ROCK SOIL AND BORROW AREAS, REGARDLESS OF THEIR LOCATIONS.
10. CONTRACTOR SHALL USE TREADED MACHINERY AND MINIMIZE SOIL COMPACTION WHEREVER POSSIBLE.

MAINTENANCE PROGRAM

THE FOLLOWING MAINTENANCE PROGRAM HAS BEEN DEVELOPED TO PROVIDE FOR THE INSPECTION OF BMPs ON A WEEKLY BASIS AND AFTER EACH MEASURABLE RUNOFF EVENT, AND TO INCLUDE THE REPAIR OF THE BMPs TO ENSURE THEIR EFFECTIVE AND EFFICIENT OPERATION:

UNTIL THE SITE IS STABILIZED AND DURING CONSTRUCTION ACTIVITIES, ALL BMPs MUST BE MAINTAINED PROPERLY BY THE CONTRACTOR. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN-OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RESETTING MUST BE PERFORMED IMMEDIATELY AND IN ACCORDANCE WITH THESE PROCEDURES, PLANS AND DETAILS. ANY AREAS DISTURBED DURING MAINTENANCE MUST BE STABILIZED IMMEDIATELY IN ACCORDANCE WITH THE GENERAL CONSERVATION NOTES AND SPECIFICATIONS. ALL SITE INSPECTIONS MUST BE DOCUMENTED IN AN INSPECTION LOG KEPT FOR THIS PURPOSE INDICATING THE COMPLIANCE ACTIONS AND THE DATE, TIME AND NAME OF THE PERSON CONDUCTING THE INSPECTION. THE INSPECTION LOG MUST BE KEPT ON SITE AT ALL TIMES AND MADE AVAILABLE TO THE DISTRICT UPON REQUEST.

- COMPOST FILTER SOCK - INSPECTIONS SHALL BE CONDUCTED ON A WEEKLY BASIS AND/OR AFTER EACH RUNOFF EVENT. NEEDED REPAIRS SHOULD BE INITIATED IMMEDIATELY AFTER THE INSPECTION. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES ¼ THE ABOVE GROUND SOCK. THE SEDIMENT SHALL BE DISPOSED OF ON SITE AND/OR IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION. BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER SIX (6) MONTHS. PHOTODEGRADABLE SOCKS AFTER ONE (1) YEAR. UPON STABILIZATION OF THE TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.
- INLET PROTECTION (FILTER BAGS) - INSPECTIONS SHALL BE CONDUCTED ON A WEEKLY BASIS AND/OR AFTER EACH RUNOFF EVENT. NEEDED REPAIRS SHOULD BE INITIATED IMMEDIATELY AFTER THE INSPECTION. FILTER BAGS SHOULD BE CLEANED AND/OR REPLACED AFTER EACH RUNOFF EVENT. THE SEDIMENT SHALL BE DISPOSED OF ON SITE AND/OR IN ACCORDANCE WITH APPLICABLE STATE REGULATIONS. DAMAGED FILTER BAGS SHOULD BE REPLACED.
- SWALES - SWALES SHALL BE INSPECTED FOR EROSION AND/OR SEDIMENT ACCUMULATION ON AN ANNUAL BASIS, AFTER A SIGNIFICANT RUNOFF EVENT OR AS DIRECTED BY THE CONSERVATION DISTRICT AND/OR BOROUGH ENGINEER. NEEDED REPAIRS SHOULD BE INITIATED IMMEDIATELY AFTER THE INSPECTION. AREAS OF EROSION SHALL BE REGRADED AND STABILIZED, AND SEDIMENT MUST BE REMOVED TO RESTORE DESIGN CAPACITIES. ANY REMOVED SEDIMENT SHALL BE DISPOSED OF IN AN APPROVED MANNER AND IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. ALL AREAS DISTURBED DURING MAINTENANCE MUST BE STABILIZED IMMEDIATELY IN ACCORDANCE WITH THE GENERAL CONSERVATION NOTES AND SPECIFICATIONS.
- SEDIMENT BASIN - INSPECTIONS SHALL BE CONDUCTED ON A WEEKLY BASIS AND/OR AFTER EACH RUNOFF EVENT. NEEDED REPAIRS SHOULD BE INITIATED IMMEDIATELY AFTER THE INSPECTION. WHEN SEDIMENT HAS ACCUMULATED TO THE CLEAN-OUT ELEVATION INDICATED ON THE STAKE, THE SEDIMENT MUST BE REMOVED TO RESTORE DESIGN CAPACITIES. THE SEDIMENT SHALL BE DISPOSED OF ON SITE AND/OR IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. THE CONTRACTOR SHALL BE REQUIRED TO NOT OR DRAIN THE SEDIMENT BASIN AND TRAPS SEVEN (7) DAYS AFTER A STORM EVENT IF DIRECTED BY THE LOCAL COUNTY HEALTH DEPARTMENT IN DEALING WITH WEST NILE VIRUS.
- CONSTRUCTION ENTRANCES - LOCATIONS WHERE VEHICLES ENTER AND EXIT THE SITE MUST BE INSPECTED FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING. A STABILIZED CONSTRUCTION EXIT SHALL BE CONSTRUCTED WHERE VEHICLES ENTER AND EXIT. EXITS SHALL BE MAINTAINED OR SUPERSEDED AS NECESSARY TO PREVENT THE RELEASE OF SEDIMENT FROM VEHICLES LEAVING THE SITE. ANY SEDIMENT DEPOSITED ON THE ROADWAY SHALL BE SWEEP AS NECESSARY THROUGHOUT THE DAY OR AT THE END OF EVERY DAY AND DISPOSED OF IN AN APPROPRIATE MANNER. SEDIMENT SHALL NOT BE WASHED INTO STORM SEWER SYSTEMS. SEDIMENT TRACKED ONTO ANY ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORKDAY AND DISPOSED AS A MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED OR SWEEP INTO ANY ROAD SIDE DITCH, STORM SEWER OR SURFACE WATER.
- SEDIMENT BARRIERS AND BASINS/TRAPS MUST BE INSPECTED AND THEY MUST BE CLEANED OUT AT SUCH TIME AS THEIR ORIGINAL CAPACITY HAS BEEN REDUCED BY 50 PERCENT. ALL MATERIAL EXCAVATED FROM BEHIND SEDIMENT BARRIERS OR IN BASINS AND TRAPS SHALT BE INCORPORATED INTO ON-SITE SOILS OR SPREAD OUT ON AN UPLAND PORTION OF THE SITE AND STABILIZED. ADDITIONAL SEDIMENT BARRIERS MUST BE CONSTRUCTED AS NEEDED.
- INSPECTIONS SHALL EVALUATE DISTURBED AREAS AND AREAS USED FOR STORING MATERIALS THAT ARE EXPOSED TO RAINFALL FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM OR DISCHARGING FROM THE SITE. IF NECESSARY, THE MATERIALS MUST BE COVERED OR ORIGINAL COVERS MUST BE REPAIRED OR SUPPLEMENTED. ALL AREAS DISTURBED DURING THE EARTHWORK PHASE OF CONSTRUCTION MUST BE TEMPORARILY SEEDED AND STABILIZED WITH HYDRO-STRAW IF PERMANENT SEEDING CANNOT BE ACHIEVED WITHIN FOUR (4) DAYS. ALSO, PROTECTIVE BERMUS MUST BE CONSTRUCTED, IF NEEDED, IN ORDER TO CONTAIN RUNOFF FROM MATERIAL STORAGE AREAS.
- GRASSED AREAS SHALL BE INSPECTED TO CONFIRM THAT A HEALTHY STAND OF GRASS IS MAINTAINED. THE SITE HAS ACHIEVED FINAL STABILIZATION ONCE ALL AREAS ARE COVERED WITH BUILDING FOUNDATION OR PAVEMENT, OR HAVE A STAND OF GRASS WITH AT LEAST TO PERCENT DENSITY OR GREATER IN ACCORDANCE WITH PERMIT REQUIREMENTS. THE VEGETATIVE DENSITY MUST BE MAINTAINED TO BE CONSIDERED STABILIZED. AREAS MUST BE WATERED, FERTILIZED, AND RESEED AS NEEDED TO ACHIEVE THIS REQUIREMENT.
- ALL DISCHARGE POINTS MUST BE INSPECTED TO DETERMINE WHETHER EROSION AND SEDIMENT CONTROL MEASURES ARE EFFECTIVE IN PREVENTING DISCHARGE OF SEDIMENT FROM THE SITE OR IMPACTS TO RECEIVING WATERS.

E-S - MONITORING, INSPECTION AND REPORTING REQUIREMENTS

VISUAL INSPECTIONS
THE PERMITTEE AND CO-PERMITTEE(S) MUST ENSURE THAT VISUAL SITE INSPECTIONS ARE CONDUCTED WEEKLY, AND WITHIN 24 HOURS AFTER EACH MEASURABLE RAINFALL EVENT THROUGHOUT THE DURATION OF CONSTRUCTION AND UNTIL THE RECEIPT AND ACKNOWLEDGEMENT OF THE NOT BY THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT. THE VISUAL SITE INSPECTIONS AND REPORTS SHALL BE COMPLETED IN A FORMAT PROVIDED BY THE DEPARTMENT, AND CONDUCTED BY QUALIFIED PERSONNEL, TRAINED AND EXPERIENCED IN EROSION AND SEDIMENT CONTROL. TO ASCERTAIN THAT E&S BMP'S AND PCSM BMP'S ARE PROPERLY CONSTRUCTED AND MAINTAINED TO EFFECTIVELY MINIMIZE POLLUTION TO THE WATERS OF THIS COMMONWEALTH. A WRITTEN REPORT OF EACH INSPECTION SHALL BE KEPT AND INCLUDE AT A MINIMUM:

- (1) A SUMMARY OF SITE CONDITIONS, E&S BMP AND PCSM BMP, IMPLEMENTATION AND MAINTENANCE AND COMPLIANCE ACTIONS; AND
- (2) THE DATE, TIME, NAME AND SIGNATURE OF THE PERSON CONDUCTING THE INSPECTION.

NONCOMPLIANCE REPORTING
WHERE E&S, PCSM OR PPC BMP'S ARE FOUND TO BE INOPERATIVE OR INEFFECTIVE DURING AN INSPECTION, OR ANY OTHER TIME, THE PERMITTEE AND CO-PERMITTEE(S) SHALL, WITHIN 24 HOURS, CONTACT THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT, BY PHONE OR PERSONAL CONTACT, FOLLOWED BY THE SUBMISSION OF A WRITTEN REPORT WITHIN 5 DAYS OF THE INITIAL CONTACT. NONCOMPLIANCE REPORTS SHALL INCLUDE THE FOLLOWING INFORMATION:

- (1) ANY CONDITION ON THE PROJECT SITE WHICH MAY ENDANGER PUBLIC HEALTH, SAFETY, OR THE ENVIRONMENT, OR INVOLVE INCIDENTS WHICH CAUSE OR THREATEN POLLUTION.
- (2) THE PERIOD OF NONCOMPLIANCE, INCLUDING EXACT DATES AND TIMES AND/OR ANTICIPATED TIME WHEN THE ACTIVITY WILL RETURN TO COMPLIANCE.
- (3) STEPS BEING TAKEN TO REDUCE, ELIMINATE, AND PREVENT RECURRENCE OF THE NONCOMPLIANCE; AND
- (4) THE DATE OR SCHEDULE OF DATES, AND IDENTIFYING REMEDIES FOR CORRECTING NONCOMPLIANCE CONDITIONS.

REDUCTION, LOSS, OR FAILURE OF THE BMP'S
UPON REDUCTION, LOSS, OR FAILURE OF THE BMP'S, THE PERMITTEE AND CO-PERMITTEE SHALL TAKE IMMEDIATE ACTION TO RESTORE THE BMP'S OR PROVIDE AN ALTERNATIVE METHOD OF TREATMENT. SUCH RESTORED BMP'S OR ALTERNATIVE TREATMENT SHALL BE AT LEAST AS EFFECTIVE AS THE ORIGINAL BMP'S.

TERMINATION OF COVERAGE
NOT: UPON PERMANENT STABILIZATION OF EARTH DISTURBANCE ACTIVITIES ASSOCIATED WITH CONSTRUCTION ACTIVITY THAT ARE AUTHORIZED BY THIS PERMIT AND WHEN BMP'S IDENTIFIED IN THE PCSM PLAN HAVE BEEN PROPERLY INSTALLED, THE PERMITTEE AND/OR CO-PERMITTEE OF THE FACILITY MUST SUBMIT A NOT FORM THAT IS SIGNED IN ACCORDANCE WITH PART 8, SECTION 1.G, SIGNATORY REQUIREMENTS, OF THIS PERMIT. ALL LETTERS CERTIFYING DISCHARGE TERMINATION ARE TO BE SENT TO THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT. THE NOT MUST CONTAIN THE FOLLOWING INFORMATION: FACILITY NAME, ADDRESS, AND LOCATION, OPERATOR NAME AND ADDRESS, PERMIT NUMBER, IDENTIFICATION AND PROOF OF ACKNOWLEDGMENT FROM THE PERSON(S) WHO WILL BE RESPONSIBLE FOR OPERATION AND MAINTENANCE OF THE PCSM BMP'S IN ACCORDANCE WITH THE APPROVED PCSM PLAN, AND THE REASON FOR PERMIT TERMINATION. UNTIL THE PERMITTEE HAS RECEIVED WRITTEN ACKNOWLEDGEMENT OF THE NOT, THE PERMITTEE WILL REMAIN RESPONSIBLE FOR OPERATING AND MAINTAINING ALL E&S BMP'S AND PCSM BMP'S ON THE PROJECT SITE AND WILL BE RESPONSIBLE FOR VIOLATIONS OCCURRING ON THE PROJECT SITE.

COMPLETION CERTIFICATE AND FINAL PLANS
WITHIN 30 DAYS AFTER THE COMPLETION OF EARTH DISTURBANCE ACTIVITIES AUTHORIZED BY THIS PERMIT, INCLUDING THE PERMANENT STABILIZATION OF THE SITE AND PROPER INSTALLATION OF PCSM BMP'S IN ACCORDANCE WITH THE APPROVED PCSM PLAN, OR UPON SUBMISSION OF THE NOT IF SOONER, THE PERMITTEE SHALL FILE WITH THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT A STATEMENT SIGNED BY A LICENSED PROFESSIONAL AND BY THE PERMITTEE CERTIFYING THAT WORK HAS BEEN PERFORMED IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THIS PERMIT AND THE APPROVED E&S AND PCSM PLANS.



REVISIONS

REV	DATE	COMMENT	DRAWN BY

811
Know what's below.
Call before you dig.
WEST VIRGINIA
YOU MUST CALL 811 BEFORE ANY EXCAVATION WHETHER IT'S ON PRIVATE OR PUBLIC LAND.
1-800-245-4848
www.811 WV

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: PB214045
DRAWN BY: APM
CHECKED BY: MWV
DATE: 10/28/2022
DATE I.D.: PB214045-CONS-00

PRELIMINARY FINAL LAND POLLUTION CONTROL PLANS

FOR KELLBENN, INC.

PROPOSED DEVELOPMENT
842 NATIONAL ROAD
CITY OF WHEELING
OHIO COUNTY, WV 26003

BOHLER

1 ALLEGHENY SQUARE, SUITE 402
PITTSBURGH, PA 15212
Phone: (724) 638-8500
www.BohlerEngineering.com

M.W. TAKACS
REGISTERED LANDSCAPE ARCHITECT
WEST VIRGINIA LICENSE No. [Redacted]

SHEET TITLE: SOIL EROSION & SEDIMENT POLLUTION CONTROL NOTES

SHEET NUMBER: C-602

ORG. DATE - 10/28/2022

R:\315821\64634\CADD\DRAWINGS\PLAN SET\CONV. SITE PLANS\FP12\FP12-046-CONS-00.dwg ---LAYOUT: C-602 E&S NOTES

GENERAL CONSERVATION NOTES AND SPECIFICATIONS

- I. GENERAL INFORMATION
- THIS EROSION AND SEDIMENT CONTROL PLAN SHALL BE AVAILABLE AT THE SITE.
 - NO SEDIMENT OR DEBRIS ARE ALLOWED TO LEAVE THE SITE WITHOUT FIRST BEING PROPERLY FILTERED.
 - ANY SEDIMENT THAT IS TRACKED ONTO THE ROAD MUST BE CLEANED OFF BEFORE THE END OF THE DAY.
 - DISTURBED AREAS ON WHICH EARTHMOVING ACTIVITIES HAVE CEASED AND WHICH WILL REMAIN EXPOSED SHALL BE STABILIZED IMMEDIATELY, EITHER TEMPORARILY OR PERMANENTLY, INCLUDING THE RESTORATION OF DRIVEWAYS, STOCKPILES, OFF-SITE UNDERGROUND UTILITY LINES AND GRADED PERIMETER AREAS. DURING NON-GERMINATION PERIODS, MULCH MUST BE APPLIED AT RECOMMENDED RATES. CRUSHED STONE OR PAVED SUBGRADES IS CONSIDERED ADEQUATE PROTECTION.
 - AREAS THAT FAIL TO GERMINATE MUST BE RE-SEEDED OR MULCHED.
 - WHERE DISTURBED AREAS ARE DIFFICULT TO STABILIZE, NETTING SHOULD BE USED TO HOLD SEED AND MULCH IN PLACE; THIS IS ESPECIALLY IMPORTANT AROUND WATERCOURSES, IN SWALES AND AREAS OF CONCENTRATED FLOWS, STEEP SLOPES.
 - UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENTATION MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, RE-GRADING, RE-SEEDING, RE-MULCHING, AND RE-NETTING, MUST BE PERFORMED IMMEDIATELY. IF AT ANY TIME PRIOR TO SITE STABILIZATION ANY E&SP PROBLEMS OCCUR WHICH REQUIRE ADDITIONAL CONTROLS, IMMEDIATE ACTION MUST BE TAKEN TO CORRECT THE PROBLEMS.
 - THE CONTRACTOR MUST DEVELOP AND COORDINATE WITH OWNER AND HAVE APPROVED BY THE COUNTY CONSERVATION DISTRICT, A SEPARATE EROSION AND SEDIMENT POLLUTION CONTROL PLAN FOR EACH SPOIL, BORROW OR OTHER WORK AREA NOT DETAILD ON THE PERMITTED PLANS, WHETHER LOCATED WITHIN OR OUTSIDE OF THE LIMITS OF CONSTRUCTION.
 - CONTRACTOR SHALL NOTIFY THE COUNTY CONSERVATION DISTRICT OF DISPOSAL METHOD AND LOCATION OF MATERIALS (IF ANY) TO BE REMOVED FROM SITE.
 - ALL MATERIALS TO BE RECYCLED OR DISPOSED OF MUST DO SO IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL REGULATIONS. STOCKPILES TO BE HAULED OFF SITE MUST HAVE AN APPROVED EROSION AND SEDIMENT CONTROL PLAN AT THE DESTINATION LOCATION.
 - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN SOIL STABILIZATION THROUGHOUT CONSTRUCTION. ADDITIONAL MEASURES REQUIRED TO ENSURE ON-SITE AND OFF-SITE STABILIZATION IN AND ADJACENT TO CONSTRUCTION ACTIVITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE AT NO COST TO THE OWNER. IMMEDIATE NOTIFICATION SHALL BE GIVEN TO THE OWNER AND ENGINEER SHOULD ADDITIONAL STABILIZATION MEASURES BE NECESSARY, IN ACCORDANCE WITH THE NPDES AND/OR SWPPP REQUIREMENTS FOR THE PROJECT.

II. STANDARD FOR LAND GRADING

- DEFINITION: RESHAPING THE GROUND SURFACE BY GRADING TO PLAN GRADES, WHICH ARE DETERMINED BY TOPOGRAPHIC SURVEY AND LAYOUT.
- PROVISIONS SHALL BE MADE TO SAFELY CONDUCT SURFACE WATER TO STORM DRAINS OR SUITABLE WATER COURSES AND TO PREVENT SURFACE RUNOFF FROM DAMAGING CUT FACES AND FULL SLOPES.
- ADJOINING PROPERTY SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS.
- INSTALLATION REQUIREMENTS
 - TIMBER, LOGS, BRUSH, RUBBISH, ROCKS, STUMPS AND VEGETABLE MATTER WHICH WILL INTERFERE WITH THE GRADING OPERATION OR AFFECT THE PLANNED STABILITY OR FILL AREAS SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH STANDARD FOR DISPOSAL OF MATERIALS.
 - FILL MATERIAL IS TO BE FREE OF BRUSH, RUBBISH, TIMBER, LOGS, VEGETATIVE MATTER AND STUMPS IN AMOUNTS THAT WILL BE DETRIMENTAL TO CONSTRUCTING STABLE FILLS.
 - ALL FILLS SHALL BE COMPACTED SUFFICIENTLY FOR THEIR INTENDED PURPOSE AND AS REQUIRED TO REDUCE SLIPPING, EROSION OR EXCESS SATURATION.
 - ALL DISTURBED AREAS SHALL BE LEFT WITH AN NEAT AND FINISHED APPEARANCE AND SHALL BE PROTECTED FROM EROSION. (SEE I.D.)

III. STANDARD FOR UTILITY TRENCH EXCAVATION

- LIMIT ADVANCE CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY.
- LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY. DAILY BACKFILLING OF THE TRENCH MAY BE DELAYED FOR A MAX. OF SIX DAYS FOR CERTAIN CASES REQUIRING TESTING OF THE INSTALLED PIPE.
- WATER WHICH ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING TO A FACILITY FOR REMOVAL OF SEDIMENT (SEDIMENT FILTER BAG, SEE DETAIL) BEFORE PIPE PLACEMENT AND/OR BACKFILLING BEGINS.
- ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADDED TO FINAL CONTOURS AND APPROPRIATE TEMPORARY EROSION AND SEDIMENT POLLUTION CONTROL MEASURES / FACILITIES WILL BE INSTALLED. SEEDING AND MULCHING OF ALL DISTURBED AREAS WILL BE DONE IMMEDIATELY.
- WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PLUG CONSTRUCTION AND BACKFILLING WILL BE SELF CONTAINED AND SEPARATE FORM CLEARING AND GRUBBING AND SITE RESTORATION AND STABILIZATION OPERATIONS.
- ALL SOIL EXCAVATED FROM THE TRENCH WILL BE PLACED ON THE UPHILL SIDE OF THE TRENCH.

IV. STANDARD FOR TEMPORARY STABILIZATION

- STANDARD FOR TEMPORARY STABILIZATION WITH FIBERMULCH
 - MULCHING IS MOST APPLICABLE TO THOSE AREAS SUBJECT TO PERIODIC DISTURBANCE AND REWORKING IN ADDITION, STABILIZATION WITH FIBER MULCH SHALL BE USED DURING NON-GERMINATION PERIODS.
 - PERFORM ALL CULTURAL OPERATIONS AT RIGHT ANGLES TO THE SLOPE.
 - GRADE AS NEEDED AND FEASIBLE. SEE STANDARD FOR LAND GRADING.
 - PROTECTIVE MATERIALS TO BE USED:
 - UNROTTED SMALL-GRAIN UNCHOPPED STRAW OR HAY AT 3.0 TONS PER ACRE (4 TONS PER ACRE BETWEEN NOVEMBER 1 AND MARCH 1) SPREAD UNIFORMLY AND ANCHORED WITH LIQUID MULCH BINDER. BINDER PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE PRODUCT MANUFACTURER'S SPECIFICATIONS.
 - HYDROMULCHER. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL. LIQUID MULCH BINDERS: APPLY IMMEDIATELY AFTER MULCHING TO MINIMIZE LOSS BY WIND OR STRUCK OFF BY WATER. PRODUCTS TO BE INSTALLED AT A RATE OF 1 TON PER ACRE (MINIMUM) OR PER MANUFACTURER'S SPECIFICATIONS.
- STANDARD FOR TEMPORARY STABILIZATION WITH SEED
 - DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTURBED WITHIN TWELVE (12) MONTHS MUST BE SEEDD AND MULCHED IMMEDIATELY WITH A TEMPORARY COVER.
 - ALL AREAS TO BE PERMANENTLY SEEDD SHALL ALSO RECEIVE TEMPORARY SEEDING CONCURRENTLY.
 - SEEDBED PREPARATION FOR TEMPORARY SEEDING.
 - PERFORM ALL CULTURAL OPERATIONS AT RIGHT ANGLES TO SLOPE.
 - APPLY AGRICULTURAL LIME AT A RATE OF 1 TONE PER ACRE
 - APPLY 10-10-10 FERTILIZER A RATE OF 500 POUNDS PER ACRE
 - WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF FOUR (4) INCHES.
- SEEDING: SEE SEEDING SPECIFICATIONS

V. STANDARD FOR PERMANENT STABILIZATION

- SPECIFICATION FOR SEEDING & SOIL TREATMENT FOR PERMANENT VEGETATIVE COVER
 - SITE PREPARATION
 - GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION AND ANCHORING, AND MAINTENANCE.
 - SUBSOIL SHOULD BE TESTED FOR LIME REQUIREMENT AND LIMESTONE, IF NEEDED, SHOULD BE APPLIED TO BRING SOIL PH TO BETWEEN 5.5 AND 7 AND INCORPORATED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES.
 - IMMEDIATELY PRIOR TO TOPSOIL DISTRIBUTION, THE SURFACE SHOULD BE SCARIFIED OR OTHERWISE LOOSENEED TO A DEPTH OF 3.5 INCHES TO PROVIDE A GOOD BOND WITH THE TOPSOIL.
 - APPLYING TOPSOIL
 - TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING SOIL STRUCTURE.
 - ALL DISTURBED TOPSOIL ON-SITE IS TO BE REDISTRIBUTED ON-SITE IN AREAS NOT COVERED BY IMPERVIOUS SURFACES. NO REMOVAL OF TOPSOIL IS ALLOWED UNLESS APPROVED BY THE TOWNSHIP. UNIFORM APPLICATION TO A DEPTH OF 6-8 INCHES (UNSETTLED) IS REQUIRED. SOILS WITH A PH OF 4.0 OR LESS, OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM DEPTH OF 12 INCHES OF SOIL HAVING A PH OF 5.0 OR MORE.
 - SEEDBED PREPARATION
 - A SOIL TEST SHALL BE CONDUCTED TO ACCURATELY DETERMINE NECESSARY SOIL AMENDMENTS.
 - PERFORM ALL CULTURAL OPERATIONS AT RIGHT ANGLES TO SLOPE.
 - SOIL MODIFICATIONS:
 - APPLY 10-20-20 RATED FERTILIZER AT A RATE OF 1000 POUNDS PER ACRE OR 25 POUNDS PER 1000 SQUARE FEET, OR AS DIRECTED BY SOIL TEST.
 - APPLY AGRICULTURAL LIME AT A RATE OF 6 TONS PER ACRE OR 240 POUNDS PER 1000 SQUARE FEET, OR AS DIRECTED BY SOIL TEST.
 - WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM FINE SEEDBED IS PREPARED.
 - REMOVE FROM THE SURFACE ALL STONES ONE INCH (1") OR LARGER IN ANY DIMENSION, REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMPS OR OTHER UNSUITABLE MATERIAL.
 - INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RE-TILLED AND FIRMED AS ABOVE.
 - SEEDING: SEE SEEDING SPECIFICATIONS
 - SEED BED AREAS SHALL ALSO BE STABILIZED USING AN APPROVED METHOD (EG. HYDROMULCHING) AS OUTLINED IN ITEM IV.A. HEREIN.
- STANDARD FOR PERMANENT STABILIZATION WITH SOD
 - METHODS AND MATERIALS
 - CULTIVATED SOD IS PREFERRED OVER NATIVE OR PASTURE SOD. SPECIFY "CERTIFIED SOD," OR OTHER HIGH QUALITY CULTIVATED SOD.
 - SOD SHOULD BE FREE OF WEEDS AND UNDESIRABLE COARSE WEEDY GRASSES.
 - SOD SHOULD BE OF UNIFORM THICKNESS, APPROXIMATELY 5/8 INCH, PLUS OR MINUS 1/4 INCH, AT TIME OF CUTTING. (EXCLUDES TOP GROWTH).
 - SOD SHOULD BE VIGOROUS AND DENSE AND BE ABLE TO RETAIN ITS OWN SHAPE AND WEIGHT WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP FROM THE UPPER 5% OF THE STRIP. BROKEN PADS OR TORN AND UNEVEN ENDS WILL NOT BE ACCEPTABLE.
 - SOD OF KENTUCKY 31 TALL FESCUE WITH BLUEGRASS, OR A FESCUE BLEND IS PREFERRED.
 - ONLY MOST, FRESH UNHEATED SOD SHOULD BE USED. SOD SHOULD BE HARVESTED, DELIVERED AND INSTALLED WITHIN A PERIOD OF 36 HOURS.
- SITE PREPARATIONS: SEE SPECIFICATION FOR SEEDING & SOIL TREATMENT FOR PERMANENT VEGETATIVE COVER (ITEM V.A. ABOVE)
- SOD PLACEMENT
 - SOD STRIPS SHOULD BE LAID ON THE CONTOUR, NEVER UP AND DOWN THE SLOPE, STARTING AT THE BOTTOM OF THE SLOPE AND WORKING UP. ON STEEP SLOPES, THE USE OF LADDERS WILL FACILITATE THE WORK AND PREVENT DAMAGE TO THE SOD, DURING PERIODS OF HIGH TEMPERATURE, LIGHTLY IRRIGATE THE SOIL IMMEDIATELY PRIOR TO LAYING THE SOD.
 - PLACE SOD STRIPS WITH SNUG EVEN JOINTS THAT ARE STAGGERED. OPEN SPACES INVITE EROSION.
 - ROLL OR TAMP SOD IMMEDIATELY FOLLOWING PLACEMENT TO INSURE SOLID CONTACT OF ROOT MAT AND SOIL SURFACE. DO NOT OVERLAP SOD. ALL JOINTS SHOULD BE BUTTED TIGHTLY IN ORDER TO PREVENT VOIDS, WHICH WOULD CAUSE DRYING OF THE ROOTS.
 - ON SLOPES GREATER THAN 3 TO 1, SECURE SOD TO SURFACE SOIL WITH WOOD PEGS, WIRE STAPLES OR A BIODEGRADABLE FASTENER.
 - SURFACE WATER CANNOT ALWAYS BE DIVERTED FROM FLOWING OVER THE FACE OF THE SLOPE, BUT A CAPPING STRIP OF HEAVY JUTE OR PLASTIC NETTING, PROPERLY SECURED, ALONG THE CROWN OF THE SLOPE AND EDGES WILL PROVIDE EXTRA PROTECTION AGAINST LIFTING AND UNDERCUTTING OF SOD. THE SAME TECHNIQUE CAN BE USED TO ANCHOR SOD IN WATER-CARRYING CHANNELS AND OTHER CRITICAL AREAS. WIRE STAPLES MUST BE USED TO ANCHOR NETTING IN CHANNEL WORK.
 - IMMEDIATELY FOLLOWING INSTALLATION, SOD SHOULD BE WATERED UNTIL MOISTURE PENETRATES THE SOIL LAYER BENEATH SOD TO A DEPTH OF 4 INCHES. MAINTAIN OPTIMUM MOISTURE FOR AT LEAST TWO WEEKS.
 - FOLLOW-UP INSPECTION: AFTER THE FIRST GROWING SEASON, THE SOD SHOULD BE INSPECTED TO DETERMINE IF ADDITIONAL FERTILIZATION OR LIMING IS NEEDED.

SEEDING SPECIFICATIONS

- SEEDING DATES
- SEEDING SHALL OCCUR BETWEEN MARCH 1ST AND MAY 15TH OR BETWEEN AUGUST 15TH AND NO LATER THAN OCTOBER 15TH.
 - IF SEEDING CANNOT BE CONDUCTED DURING THE TIMEFRAMES NOTED ABOVE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE WYDPEP AND ALL APPROPRIATE AGENCIES TO DETERMINE AN ACCEPTABLE MEANS IN WHICH TO STABILIZE THE SITE THROUGH THE NEXT GROWING SEASON.
 - SEED MIXTURES: SEED MIXTURE TO BE USED ON THIS SITE SHALL CONSIST OF THE FOLLOWING UNLESS OTHERWISE NOTED ON THE PLANS. RATES ARE IN THE FORM OF POUNDS PER ACRE (LBS/A) PER PURE LIVE SEED (POUNDS / ACRE PLS.). CONTRACTOR WILL NEED TO ADJUST ACCORDINGLY BASED ON THE SEED GERMINATION AND PURITY RATING (SEE ITEM #3 BELOW).
- TEMPORARY SEEDING
- TEMPORARY SEED MIXTURES: DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE DISTURBED AGAIN WITHIN TWELVE (12) MONTHS MUST BE SEEDD WITH A TEMPORARY SEED MIXTURE CHOSEN ACCORDING TO THE TIME OF YEAR THE MIXTURE WILL BE PLANTED FROM TABLE 3.10.1.
 - APPLICATION OF TEMPORARY SEEDING SHALL INCLUDE MULCH, WHICH SHALL BE APPLIED DURING OR IMMEDIATELY AFTER SEEDING. SEEDING MADE DURING OPTIMUM SEEDING DATES ON FAVORABLE, VERY FLAT SOIL CONDITIONS MAY NOT NEED MULCH TO ACHIEVE ADEQUATE STABILIZATION.
 - MULCHING IS MOST APPLICABLE TO THOSE AREAS SUBJECT TO PERIODIC DISTURBANCE AND REWORKING IN ADDITION, STABILIZATION WITH FIBER MULCH SHALL BE USED DURING NON-GERMINATION PERIODS.
 - PERFORM ALL CULTURAL OPERATIONS AT RIGHT ANGLES TO THE SLOPE.
 - GRADE AS NEEDED AND FEASIBLE. SEE STANDARD FOR LAND GRADING.
 - PROTECTIVE MATERIALS TO BE USED:
 - UNROTTED SMALL-GRAIN UNCHOPPED STRAW OR HAY AT 2.0 TONS PER ACRE OR 90 LBS./1,000 SQUARE FEET (4 TONS PER ACRE BETWEEN NOVEMBER 1 AND MARCH 1) SPREAD UNIFORMLY AND ANCHORED WITH LIQUID MULCH BINDER. BINDER PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE PRODUCT MANUFACTURER'S SPECIFICATIONS. STRAW MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR WATER. ANCHORING METHODS ARE AS FOLLOWS:
 - MECHANICAL - A DISK, CRIMPER, OR SIMILAR TYPE TOOL SHALL BE SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO SOIL. STRAW MECHANICALLY ANCHORED SHALL NOT BE FINELY CHOPPED BUT LEFT TO A LENGTH OF APPROXIMATELY SIX (6) INCHES.
 - MULCH NETTING - NETTING SHALL BE USED ACCORDING TO THE MANUFACTURERS RECOMMENDATIONS. NETTING MAY BE NECESSARY TO HOLD MULCH IN PLACE IN AREAS OF CONCENTRATED RUNOFF AND ON CRITICAL SLOPES.
 - SYNTHETIC BINDERS - SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRI-TAC), DCA-70, PETROSET, TERRA TRACK, OR EQUIVALENT MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER.
 - WOOD-CELLULOSE FIBER - WOOD-CELLULOSE FIBER BINDER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 LB./AC. THE WOOD-CELLULOSE FIBER SHALL BE MIXED WITH WATER AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 50 LB / 100 GALLONS.
 - HYDROSEEDERS - IF WOOD CELLULOSE FIBER IS USED, IT SHALL BE USED AT 2000 LBS./AC. OR 46 LB./1,000 SQUARE FEET.
 - OTHER - OTHER ACCEPTABLE MULCHES INCLUDE MULCH MATTINGS APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD CHIPS APPLIED AT 6 TON/ACRE
- PERMANENT SEEDING SHALL CONSIST OF A NURSE CROP PLUS A PERMANENT SEED MIXTURE, AS FOLLOWS:
 - NURSE CROP (SELECT ONE):
 - ANNUAL RYEGRASS (25 POUNDS / ACRE PLS.)
 - OR SPRING OATS (50 POUNDS / ACRE PLS.)
 - OR WINTER RYE (65 POUNDS / ACRE PLS.)
 - PERMANENT SEED MIX (SEE PERMANENT SEEDING TABLE FOR MORE SEEDING MIXTURE OPTIONS):
 - RED FESCUE (20 POUNDS / ACRE PLS.)
 - KENTUCKY BLUEGRASS (40 POUNDS / ACRE PLS.)
 - MERION BLUEGRASS (30 POUNDS / ACRE PLS.)
- OTHER - OTHER ACCEPTABLE MULCHES INCLUDE MULCH MATTINGS APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD CHIPS APPLIED AT 6 TON/ACRE

Table 3.10.1 Temporary seed chart

PLANT NAMES	PLANTING DATES	APPLICATION RATE LBS/ACRE
COMMON	SCIENTIFIC	
Annual Ryegrass	<i>Lolium multiflorum</i> 2/16 – 5/15 8/1 – 11/1	40
Field Bromegrass	<i>Bromus ciliatus</i> 3/1 – 6/15 8/1 – 9/15	40
Spring Oats	<i>Avena sativa</i> 3/1 – 6/15	100
Winter Rye	<i>Secale cereale</i> 8/15 – 2/28	170
Winter Wheat	<i>Triticum aestivum</i> 8/15 – 2/28	180
Japanese Millet	<i>Echinochloa crusgalli</i> 5/15 – 8/15	30
Redtop	<i>Agrostis alba</i> 3/1 – 6/15	10
Annual Ryegrass and Spring Oats	<i>Lolium multiflorum</i> <i>Avena sativa</i> 3/1 – 6/15	30 70
German/Foxtail Millet	<i>Setaria italica</i> 5/1 – 8/1	40
Hairy Vetch	<i>Vicia villosa</i> 8/15 – 4/1	60

*Inoculation is required. If a hydroseeder is utilized, the application rate is 5 times the recommended rate.

Table 3.1.2 Nurse crops

PLANT NAMES	PLANTING DATES	APPLICATION RATE LBS/ACRE
COMMON	SCIENTIFIC	
Annual Ryegrass	<i>Lolium multiflorum</i> 2/16 – 5/15 8/1 – 11/1	25
Field Bromegrass	<i>Bromus ciliatus</i> 3/1 – 6/15 8/1 – 9/15	20
Spring Oats	<i>Avena sativa</i> 3/1 – 6/15	50
Winter Rye	<i>Secale cereale</i> 8/15 – 2/28	85
Winter Wheat	<i>Triticum aestivum</i> 8/15 – 2/28	90
Japanese Millet	<i>Echinochloa crusgalli</i> 5/15 – 8/15	15
Redtop	<i>Agrostis alba</i> 3/1 – 6/15	10
Annual Ryegrass and Spring Oats	<i>Lolium multiflorum</i> <i>Avena sativa</i> 3/1 – 6/15	15 35
German/Foxtail Millet	<i>Setaria italica</i> 5/1 – 8/1	25
Hairy Vetch*	<i>Vicia villosa</i> 8/15 – 4/1	30

* Inoculation is required. If a hydroseeder is utilized, the application rate is five times the recommended rate.

Table 3.11.1 Permanent seeding

SEED MIX	PLANT NAMES		APPLICATION RATE LBS/ACRE
	COMMON	SCIENTIFIC	
A	Kentucky 31 Fescue Red Fescue Birdsfoot Trefoil	<i>Festuca arundinacea</i>	65
		<i>Festuca rubra</i>	20
		<i>Lolus corniculatus</i>	5
B	Switchgrass Perennial Ryegrass Redtop Birdsfoot Trefoil	<i>Panicum virgatum</i>	15
		<i>Lolium perenne</i>	20
		<i>Agrostis alba</i> <i>Lolus corniculatus</i>	5 15
C	Red Fescue Kentucky Bluegrass Merion Bluegrass	<i>Festuca rubra</i>	20
		<i>Poa pratensis</i>	40
		<i>Poa pratensis</i>	30
D	Kentucky 31 Fescue Red Fescue Kentucky Bluegrass White Dutch Clover	<i>Festuca arundinacea</i>	45
		<i>Festuca rubra</i>	20
		<i>Poa pratensis</i>	25
		<i>Trifolium repens</i>	5
E	Perennial Ryegrass Switchgrass Crownvetch or Perennial Pea	<i>Lolium perenne</i>	30
		<i>Panicum virgatum</i>	15
		<i>Coronilla varia</i>	20
		<i>Lathyrus latifolius</i>	30
			30
F	Orchardgrass Ladino Clover Redtop	<i>Dactylis glomerata</i>	20
		<i>Trifolium repens</i> <i>Agrostis alba</i>	5 5
G	Birdsfoot Trefoil Weeping Lovegrass Perennial Ryegrass	<i>Lotus corniculatus</i>	15
		<i>Eragrostis curvula</i>	45
		<i>Lolium perenne</i>	10
H	Crownvetch Orchardgrass	<i>Coronilla varia</i> <i>Dactylis glomerata</i>	25 40
			25
I	Crownvetch Perennial Ryegrass	<i>Coronilla varia</i> <i>Lolium perenne</i>	25 30
			30
J	Perennial Pea Orchardgrass	<i>Lathyrus latifolius</i> <i>Dactylis glomerata</i>	30 30
			30
K	Deertongue Birdsfoot Trefoil Weeping Lovegrass	<i>Panicum clandestinum</i> <i>Lotus corniculatus</i> <i>Eragrostis curvula</i>	30 15 5
			5
L	Orchardgrass Sercia Lespedeza Ladino Clover	<i>Dactylis glomerata</i> <i>Lespedeza cunata</i> <i>Trifolium repens</i>	30 40 5
			5
M	Perennial Ryegrass Ladino Clover Redtop	<i>Lolium perenne</i> <i>Trifolium repens</i> <i>Agrostis alba</i>	5 5 5
			5
			5
N	Crownvetch Orchardgrass Redtop	<i>Coronilla varia</i> <i>Dactylis glomerata</i> <i>Agrostis alba</i>	15 30 5
			5
O	Perennial Ryegrass Birdsfoot Trefoil Redtop	<i>Lolium perenne</i> <i>Lotus corniculatus</i> <i>Agrostis alba</i>	40 15 5
			40
			30
P	Sercia Lespedeza Orchardgrass Redtop	<i>Lespedeza cunata</i> <i>Dactylis glomerata</i> <i>Agrostis alba</i>	40 30 5
			30
			5
Q	Orchardgrass Reed Canarygrass ¹ Redtop Ladino Clover	<i>Dactylis glomerata</i> <i>Phalaris arundinacea</i> <i>Agrostis alba</i> <i>Trifolium repens</i>	25 30 5 5
			30
			5
R	Kentucky Bluegrass Redtop White Clover Birdsfoot Trefoil	<i>Poa pratensis</i> <i>Agrostis alba</i> <i>Trifolium repens</i> <i>Lotus corniculatus</i>	30 5 5 15
			30
			5
S	Reed Canarygrass ¹ Weeping Lovegrass	<i>Phalaris arundinacea</i> <i>Eragrostis curvula</i>	40 5
			5
T	Perennial Ryegrass Reed Canarygrass ¹ Birdsfoot Trefoil	<i>Lolium perenne</i> <i>Phalaris arundinacea</i> <i>Lotus corniculatus</i>	30 15 5
			5
U	Timothy Alfalfa	<i>Phlem pratense</i> <i>Medicago sativa</i>	10 18
			18
V	Timothy Birdsfoot Trefoil	<i>Phlum pratense</i> <i>Lotus corniculatus</i>	10 15
			15
W	Redtop Perennial Ryegrass Orchardgrass	<i>Agrostis alba</i> <i>Lolium perenne</i> <i>Dactylis glomerata</i>	5 30 25
			30
X	Reed Canarygrass ¹ Birdsfoot Trefoil Redtop	<i>Phalaris arundinacea</i> <i>Lotus corniculatus</i> <i>Agrostis alba</i>	30 20 5
			20
			5
Y	Switchgrass Birdsfoot Trefoil	<i>Panicum virgatum</i> <i>Lotus corniculatus</i>	30 20
			20
Z	Switchgrass Sercia Lespedeza	<i>Panicum virgatum</i> <i>Lespedeza cunata</i>	15 30
			30
A-1	Orchardgrass Red Clover	<i>Dactylis glomerata</i> <i>Trifolium pratense</i>	30 10
			10
A-2	Switchgrass Big Bluestem Indiangrass Little Bluestem Sideoats Grama ²	<i>Panicum virgatum</i> <i>Andropogon gerardi</i> <i>Sorghastrum nutans</i> <i>Andropogon scoparius</i> <i>Bouteloua curtipendula</i>	15 5 5 5 5
			5
			5
A-3	Switchgrass Eastern Gamagrass ³	<i>Panicum virgatum</i> <i>Tripsacum dactyloides</i>	20 15
			15

NOTE: When utilizing a properly prepared seedbed, the rates of application can be reduced by 30 percent except for seed mixes A-2 & A-3.

¹ Reed Canarygrass shall not be used east of I-79 and/or south of Charleston.
² Use north and east of I-64 and I-79.
³ Use south and west of I-64 and I-79.

BOHLER  **TM**

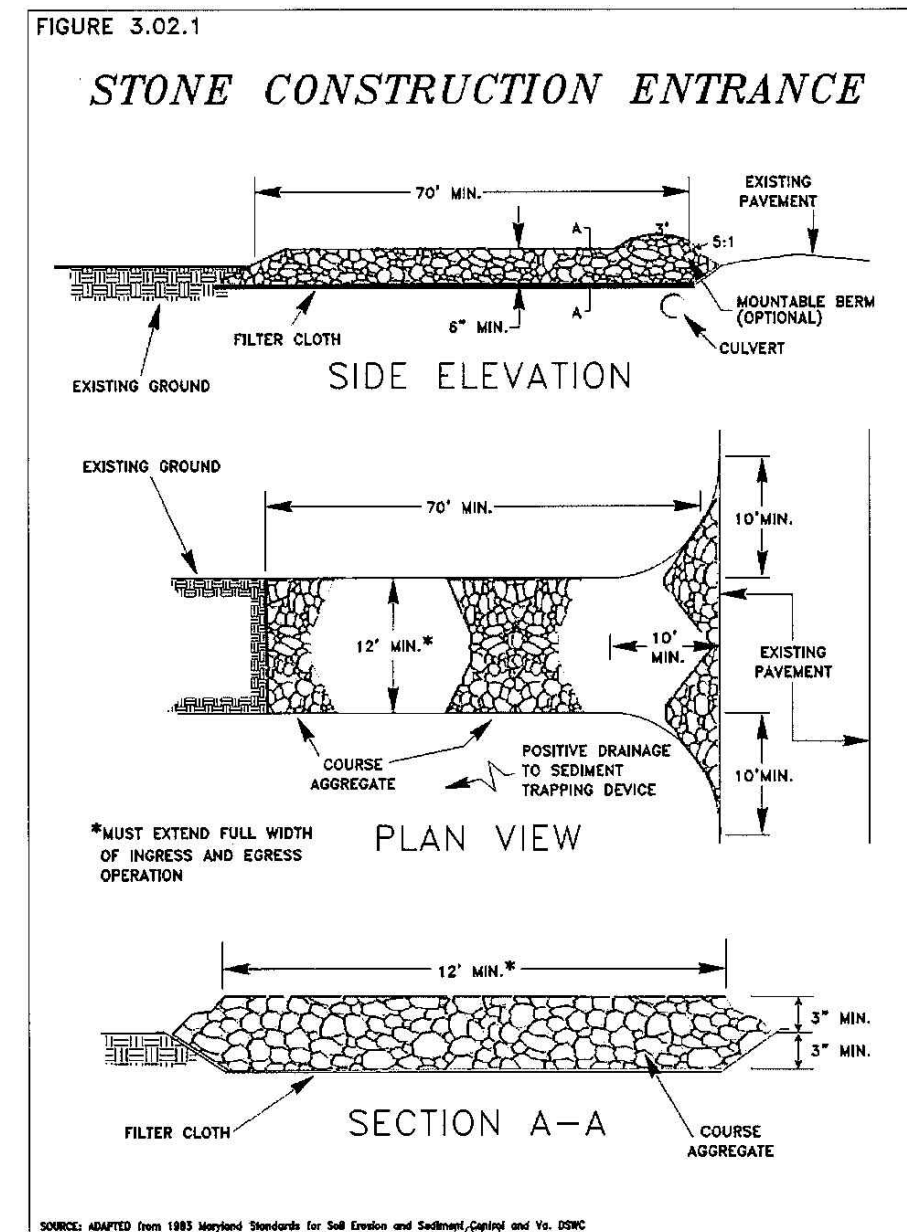
SITE CIVIL AND CONSULTING ENGINEERING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY



WEST VIRGINIA
 YOU MUST CALL 811 BEFORE ANY EXCAVATION
 WHETHER IT'S ON PRIVATE OR PUBLIC LAND.
 1-800-24



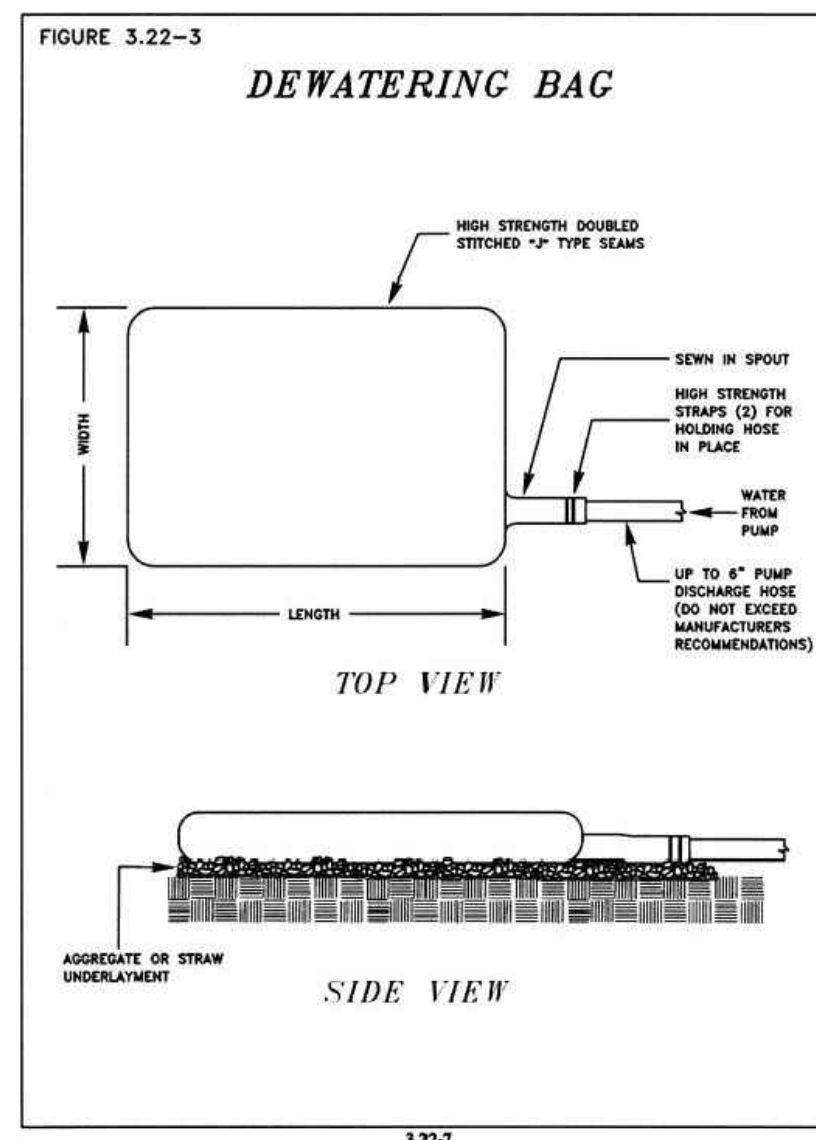
NOTES:

USE 3/4 INCH STONE FOR LOW VOLUME ENTRANCES AND LARGER STONE (4 INCH) FOR HEAVY USE OR MATERIAL DELIVERY ENTRANCES. LENGTH IS AS REQUIRED, BUT NOT LESS THAN 70 FEET. THICKNESS SHOULD NOT BE LESS THAN 6 INCHES. THE WIDTH SHALL BE A MINIMUM OF 10 FEET, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.

GEOTEXTILE FABRIC SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO THE PLACING OF STONE. ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PAVED ACROSS THE ENTRANCE. IF A CULVERT IS IMPRACTICAL, A MOUNTABLE BEAM WITH 5:1 SLOPES SHALL BE USED. IF NECESSARY, DIVERT ANY WATER RUNNING DOWN ACROSS ROAD TO A SEDIMENT TRAP LOCATED ON EITHER SIDE OF THE STABILIZED CONSTRUCTION ENTRANCE.

MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURED USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ON PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. WHEELS OF ALL VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. IF WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO APPROVED SEDIMENT TRAPPING DEVICE. IF THE STREET IS WASHED, PRECAUTIONS MUST BE TAKEN TO PREVENT MUDDY WATER FROM RUNNING INTO WATERWAYS OR STORM SEWERS. INSPECTION AND NEEDED MAINTENANCE SHOULD BE PROVIDED DAILY BUT AT A MINIMUM EVERY SEVEN DAYS AND AFTER EVERY RAIN OF 0.5 INCH OR GREATER.

ROCK CONSTRUCTION ENTRANCE
NOT TO SCALE



NOTES:

LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
GRAB TENSILE	ASTM D-4632	250 LB
PUNCTURE	ASTM D-4833	165 LB
FLOW RATE	ASTM D-4481	70 GAL / 1000 SQ FT
MULLEN BURST	ASTM D-3796	500 LB / SQ IN
UV RESISTANCE	ASTM D-4355	70%
AOS % RETAINED	ASTM D-4751	100%

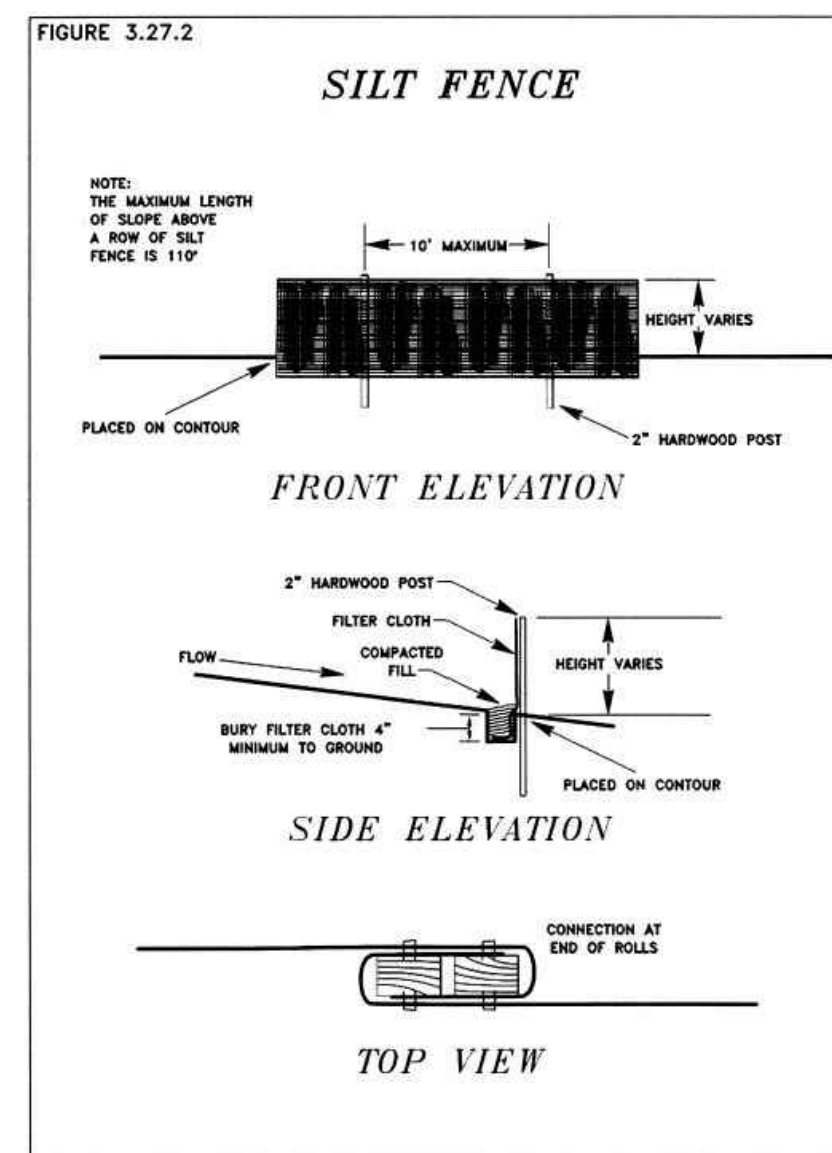
A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRIPS TO FACILITATE REMOVAL, UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. THE PUMPING RATE SHALL BE NO GREATER THAN 1000 GPM.

THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.

FILTER BAGS SHALL BE INSPECTED FREQUENTLY DURING PUMPING OPERATIONS. REPAIRS AND REPLACEMENTS ARE TO OCCUR ONCE THE SEDIMENT BUILD-UP PREVENTS THE STRUCTURE FROM FUNCTIONING AS DESIGNED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT.

PUMPED WATER FILTER BAG
NOT TO SCALE



NOTES:

THE SILT FENCE MUST BE ENTRENCHED AT LEAST 4 INCHES. THE FENCE MUST BE PLACED ON THE CONTOUR PERPENDICULAR TO THE FLOW OF WATER. IT IS NOT TO BE INSTALLED IN AREAS OF CONCENTRATED FLOWS OR IN AREAS THAT WOULD REQUIRE IT TO CONTAIN SEDIMENT FROM TOO LARGE OF AN AREA.

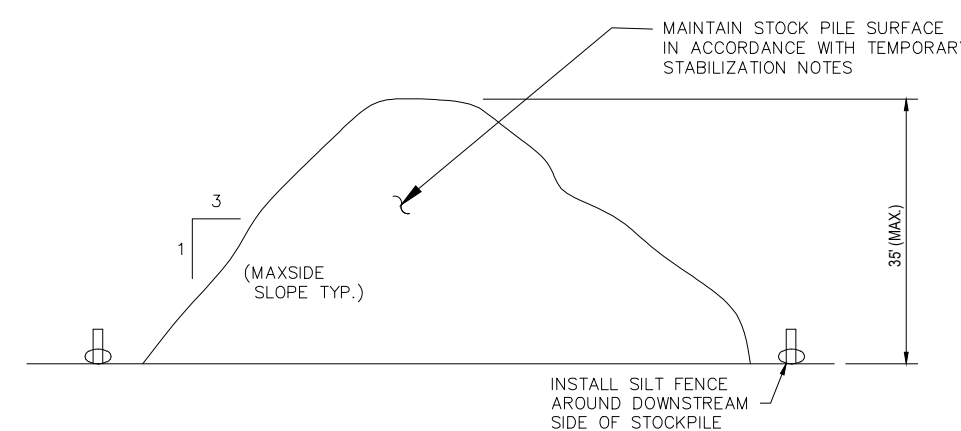
SILT FENCE WILL NOT BE USED IN AREAS WHERE ROCK OR SOME OTHER HARD SURFACE PREVENTS THE FULL AND UNIFORM ANCHORING OF THE BARRIER. SILT FENCE SHOULD NEVER BE INSTALLED IN STREAMS OR SWALES OR IN ANY AREA WHERE THERE IS A REASONABLE CHANCE OF CONCENTRATED FLOW. IN AREAS WHERE CONCENTRATED FLOWS CAN BE EXPECTED, USE DIVERSIONS AND SEDIMENT TRAPS AND/OR SEDIMENT BASINS. IN DITCHES OR SWALES ROCK CHECK DAMS SHOULD BE USED IN PLACE OF SILT FENCE.

AN EFFORT SHOULD BE MADE TO LOCATE SILT FENCE AT LEAST 5 FEET TO 10 FEET BEYOND THE TOE OF SLOPE. SILT FENCE SHOULD BE LIMITED TO SITUATIONS IN WHICH ONLY SHEET IS EXPECTED. SILT FENCE SHOULD BE INSTALLED PRIOR TO MAJOR SOIL DISTURBANCE. SILT FENCE SHOULD BE PLACED ACROSS THE BOTTOM OF A SLOPE ALONG A LINE OF UNIFORM ELEVATION (ALWAYS PERPENDICULAR TO THE DIRECTION OF FLOW). ANY TIME A SECTION OF SILT FENCE IS KNOCKED DOWN BY CONCENTRATED FLOWS THE SILT FENCE WILL BE REPLACED WITH A DIVERSION AND SEDIMENT TRAP OR SUPER SILT FENCE.

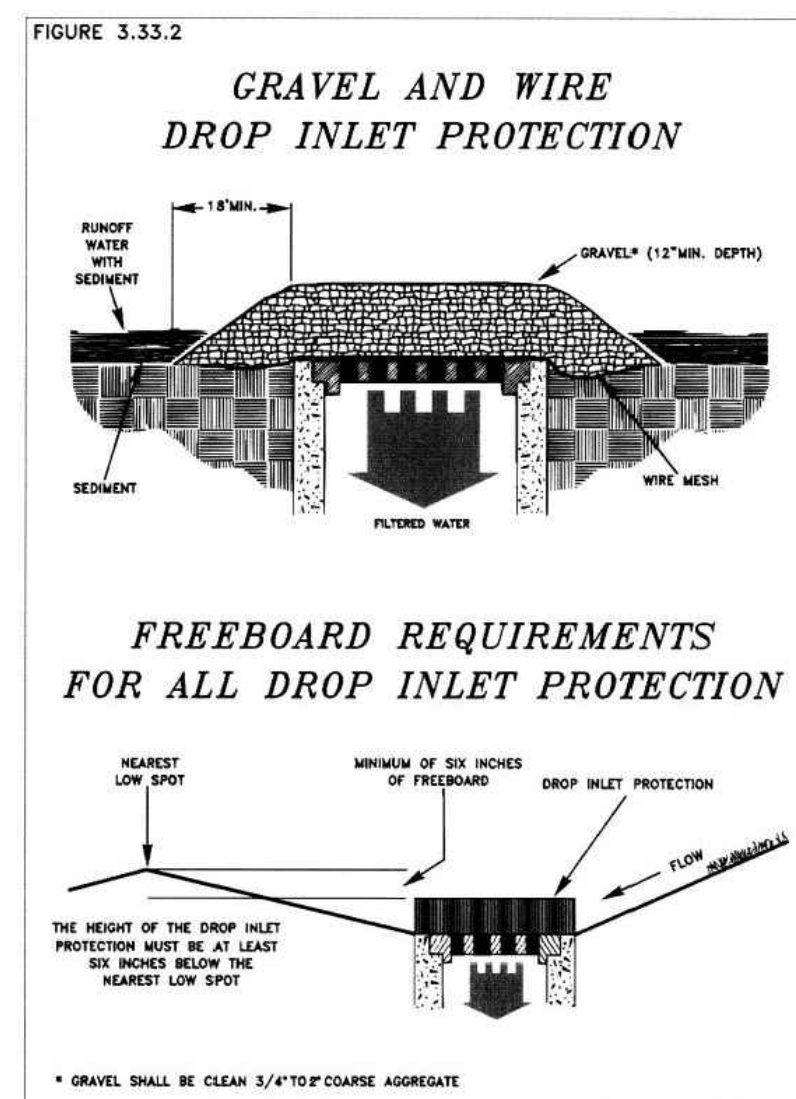
MAINTENANCE:

SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL OF 0.5 INCH OR GREATER AND AT LEAST DAILY DURING PROLONGED RAINFALL OR ONCE A WEEK. ANY REQUIRED REPAIRS OR MAINTENANCE SHALL BE MADE IMMEDIATELY. CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED SILT FENCE RESULTING FROM END RUNS AND UNDERCUTTING. IF THE FENCE IS NOT INSTALLED ON THE CONTOUR PERPENDICULAR TO THE FLOW OF THE WATER BOTH OF THESE CONDITIONS CAN OCCUR. SHOULD THE FABRIC ON A SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL IS NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. IF ANY SECTION OF SILT FENCE IS KNOCKED DOWN DURING A RAIN EVENT (BECAUSE IT WAS INSTALLED IN AN AREA OF CONCENTRATED FLOW) THEN OTHER MEASURES SUCH AS A SEDIMENT TRAP AND DIVERSION OR SUPER SILT FENCE MUST BE INSTALLED.

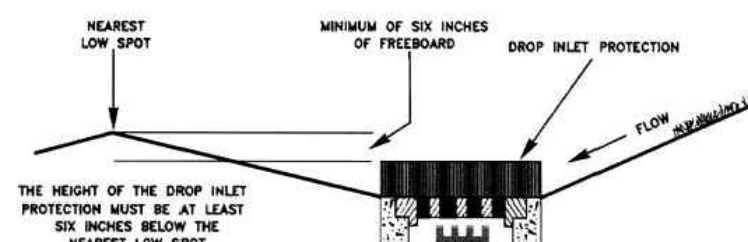
SILT FENCE
NOT TO SCALE



TEMPORARY SOIL STOCKPILE
NOT TO SCALE



FREEBOARD REQUIREMENTS FOR ALL DROP INLET PROTECTION



* GRAVEL SHALL BE CLEAN 3/4\"/>

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

811
Know what's below.
Call before you dig.
WEST VIRGINIA
YOU MUST CALL 811 BEFORE ANY EXCAVATION
WHETHER IT'S ON PRIVATE OR PUBLIC LAND.
1-800-245-4848
www.wv811.com

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: PB214045
DRAWN BY: APM
CHECKED BY: MVT
DATE: 10/28/2022
CAD ID.: PB214045-CNDS-00

PRELIMINARY/ FINAL LAND DEVELOPMENT PLANS
FOR
KELLBENN, INC.
PROPOSED DEVELOPMENT
842 NATIONAL ROAD
CITY OF WHEELING
OHIO COUNTY, WV 26003

BOHLER //
1 ALLEGHENY SQUARE, SUITE 402
PITTSBURGH, PA 15212
Phone: (724) 638-8500
www.BohlerEngineering.com

M.W. TAKACS
REGISTERED LANDSCAPE ARCHITECT
WEST VIRGINIA LICENSE No.

SHEET TITLE:
SOIL EROSION & SEDIMENT POLLUTION CONTROL DETAILS
SHEET NUMBER:
C-604

ORG. DATE - 10/28/2022

R:\21\PB214045\CADD\DRAWINGS\PLAN SET\CIVIL SITE PLANS\PB214045-CNDS-00-1-LAYOUT-0-604.EAS DETAILS

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY



Know what's below.
 Call before you dig.
 WEST VIRGINIA
 YOU MUST CALL 811 BEFORE ANY EXCAVATION
 WHETHER IT'S ON PRIVATE OR PUBLIC LAND.
 1-800-245-4648
 www.wv811.com

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: PB214045
 DRAWN BY: APM
 CHECKED BY: MWT
 DATE: 10/28/2022
 CAD ID.: PB214045-LDVP-00

PROJECT:

PRELIMINARY/FINAL LAND DEVELOPMENT PLANS

FOR
KELLBENN, INC.

PROPOSED DEVELOPMENT
 842 NATIONAL ROAD
 CITY OF WHEELING
 OHIO COUNTY, WV 26003

BOHLER

1 ALLEGHENY SQUARE, SUITE 402
 PITTSBURGH, PA 15212
 Phone: (724) 638-8500
 www.BohlerEngineering.com

M.W. TAKACS

REGISTERED LANDSCAPE ARCHITECT
 WEST VIRGINIA LICENSE No.

SHEET TITLE:
POST CONSTRUCTION STORMWATER MANAGEMENT PLAN

SHEET NUMBER:
C-605

ORG. DATE - 10/28/2022

PLANT SCHEDULE					
CANOPY TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
CCA	4	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	3" CAL	B&B
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
CSK	40	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	15-18"	CONTAINER
DGN	30	DEUTZIA GRACILIS 'NIKKO'	SLENDER DEUTZIA	18-24"	CONTAINER
IGS	50	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	24-30"	CONTAINER
IV	63	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPIRE	24-30"	CONTAINER
JHIB	88	JUNPERUS HORIZONTALIS 'MONBER'	ICEE BLUE JUNPER	15-18" SPRD	CONTAINER
RAG	53	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	15-18"	CONTAINER
TMD	18	TAXUS MEDIA 'DENSIFORMIS'	DENSE YEW	24-30"	B&B
TOE	42	THUJA OCCIDENTALIS 'EMERALD'	EMERALD ARBORVITAE	5-6"	B&B
VR	12	VIBURNUM RHYTIDOPHYLLUM	LEATHERLEAF VIBURNUM	3-4"	B&B
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
PVN	19	PANICUM VIRGATUM 'NORTH WIND'	NORTHWIND SWITCH GRASS	1 GAL	CONTAINER
SSO	15	SCHIZACHYRIUM SCOPARIUM 'STANDING OVATION'	STANDING OVATION LITTLE BLUESTEM GRASS	1 GAL	CONTAINER

LEGEND EXISTING

- CONCRETE CURB
- FENCE
- GUIDE RAIL
- CONCRETE MONUMENT/ IRON PIN
- SIGN
- AREA LIGHT
- DRAINAGE INLET
- STORM/SANITARY MANHOLE
- WATER/GAS VALVES
- ROOF DRAIN/CLEANOUT
- FIRE HYDRANT
- UTILITY POLE W/ LIGHT
- UTILITY POLE
- OVERHEAD UTILITY WIRES
- SANITARY SEWER
- STORM PIPE

LEGEND PROPOSED

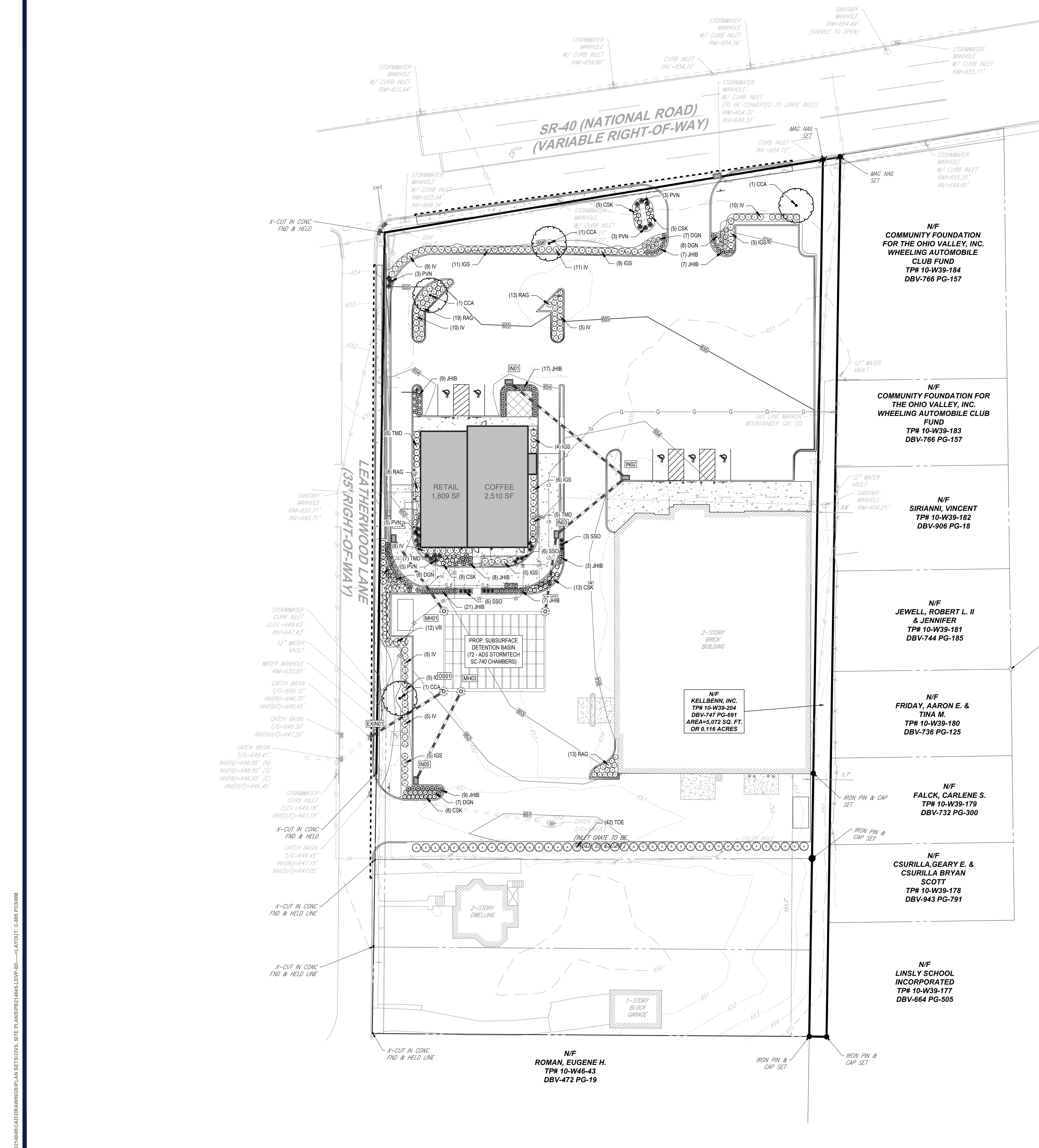
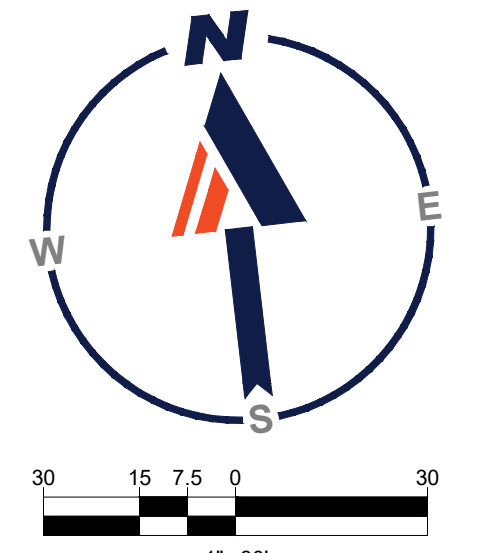
- PROPERTY LINE
- BUILDING
- RETAINING WALL
- CONCRETE CURB
- FLUSH CURB
- FENCE
- ACCESSIBLE SYMBOL
- CROSSWALK
- SIDEWALK
- SIGN
- BOLLARD
- PARKING COUNT
- DRAINAGE INLET
- CLEANOUT
- FIRE HYDRANT
- UTILITY POLE
- OVERHEAD UTILITY WIRES
- ELECTRIC LINE
- TELEPHONE LINE
- GAS LINE
- WATER LINE
- SANITARY SEWER
- STORM PIPE

STORM STRUCTURE SCHEDULE

NAME	TYPE	GRT/RIM ELEV. (FT.)	INVERTS
EXIN01	STANDARD BOX	650.50'	INV IN = 646.55'
IN01	STANDARD BOX	653.81'	INV IN = 650.06'
IN02	STANDARD BOX	653.54'	INV IN = 648.75' INV OUT = 648.55'
IN03	STANDARD BOX	653.19'	INV IN = 647.78' INV OUT = 647.58'
IN04	STANDARD BOX	652.80'	INV OUT = 649.33'
IN05	STANDARD BOX	651.38'	INV OUT = 647.36'
MH01	TYPE 4	652.83'	INV IN = 646.78'
MH02	TYPE 4	653.62'	INV IN = 646.78'
MH03	TYPE 4	652.40'	INV IN = 646.78'
OS01	TYPE 4	652.17'	INV OUT = 647.05'

STORM SEWER PIPE SCHEDULE

FROM	TO	SIZE (IN.)	TYPE	LENGTH (FT.)	SLOPE(%)
IN01	IN02	15"	HDPE	87	1.50%
IN02	IN03	15"	HDPE	52	1.50%
IN03	MH02	15"	HDPE	45	1.78%
IN04	MH01	15"	HDPE	51	5.00%
IN05	MH03	15"	HDPE	58	1.00%
OS01	EXIN01	15"	HDPE	50	1.00%



R:\131\PB214045\CADD\DRAWINGS\PLAN SET\CIVIL SITE PLANS\PB214045-LDVP-00-...-LAYOUT: C-605 PCS\W

OVERALL SITE CONSTRUCTION SEQUENCE

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED IN COMPLIANCE WITH THE EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICE MANUAL BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE. UPON COMPLETION OF EACH STAGE, THE OPERATOR SHALL ASSESS THE NECESSITY FOR AN ON-SITE PRE-CONSTRUCTION MEETING. ALSO, AT LEAST THREE (3) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE WEST VIRGINIA ONE CALL SYSTEM INC. AT 1-800-245-4848 FOR BURIED UTILITIES LOCATION.

AT LEAST SEVEN (7) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES INCLUDING, BUT NOT LIMITED TO: THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS AND A REPRESENTATIVE OF THE OHIO COUNTY CONSERVATION DISTRICT FOR AN ON-SITE PRE-CONSTRUCTION MEETING. ALSO, AT LEAST THREE (3) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE WEST VIRGINIA ONE CALL SYSTEM INC. AT 1-800-245-4848 FOR BURIED UTILITIES LOCATION.

BEFORE INITIATING ANY REVISION TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE OHIO COUNTY CONSERVATION DISTRICT. THE OPERATOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.

1. INSTALL CONSTRUCTION ENTRANCE AND STAGING AREAS AS DESIGNATED ON THE PLANS.
2. INSTALL ALL PERIMETER SILT FENCE, TREE PROTECTION FENCING, CONSTRUCTION FENCING, INLET PROTECTION WITHIN THE DESIGNATED LIMIT OF DISTURBANCE AS INDICATED ON THE PLANS. ONLY LIMITED CLEARING AND GRUBBING NECESSARY TO INSTALL THE PERIMETER EROSION AND SEDIMENT POLLUTION CONTROLS IS PERMITTED.
3. CONSTRUCT SUBSURFACE DETENTION BASIN. ONLY LIMITED CLEARING AND GRUBBING IS PERMITTED FOR CONSTRUCTION OF ACCESS TO THE SUBSURFACE DETENTION BASIN. CONSTRUCTION OF THE BASIN SHALL INCLUDE THE NECESSARY CLEARING AND GRUBBING, EARTHWORK, INSTALLATION OF THE PERMANENT BASIN OUTFALL SYSTEM AND ALL OTHER BASIN FEATURES AS SHOWN ON THE PLANS AND DETAILS, AND ANY NECESSARY TEMPORARY STABILIZATION OF ALL DISTURBED AREAS. THE BASIN IS TO BE STABILIZED AND FUNCTIONING PROPERLY PRIOR TO ANY FURTHER EARTH DISTURBANCE ACTIVITIES. UPON INSTALLATION OF THE BASIN RISER, AN IMMEDIATE INSPECTION OF THE RISER SHALL BE CONDUCTED BY A QUALIFIED SITE REPRESENTATIVE AND THE OHIO COUNTY CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING THAT THE PROPER RISER IS INSTALLED AND SEALED, PER PLAN. SEDIMENT BASINS MUST BE PROTECTED FROM UNAUTHORIZED ACTS OF THIRD PARTIES. REFER TO THE SEDIMENT BASIN SOIL CONSERVATION DISTRICT MONITORING, INSPECTION AND REPORTING REQUIREMENTS PROVIDED ON THE SOIL EROSION AND SEDIMENT POLLUTION CONTROL NOTES FOR ADDITIONAL SEDIMENT BASIN REQUIREMENTS DURING CONSTRUCTION.
4. ONCE SUBSURFACE BASIN IS CONSTRUCTED, STABILIZED AND FUNCTIONING PROPERLY, INITIATE THE NECESSARY EARTHWORK TO REACH THE GRADES INDICATED ON THE PLANS. BUILDING CONSTRUCTION MAY COMMENCE UPON ACCEPTANCE OF BUILDING PAD BY OWNER. THE CONCRETE WASHOUT MUST BE INSTALLED BEFORE ANY CONCRETE CAN BE Poured ON-SITE. CONTRACTOR MUST PERFORM BULK OF EARTHWORK TO BALANCE CUTS AND FILLS TO THE GREATEST EXTENT POSSIBLE. ALL AREAS DISTURBED DURING THE EARTHWORK PHASE OF CONSTRUCTION MUST BE TEMPORARILY SEEDED AND STABILIZED IN ACCORDANCE WITH THE GENERAL CONSERVATION NOTES AND SPECIFICATIONS AND SEEDING SPECIFICATIONS IF PERMANENT STABILIZATION CANNOT BE ACHIEVED WITHIN FOUR (4) DAYS IMMEDIATELY FOR MOIST WATERSHEDS.)
5. INITIATE STORM SEWER (AND SUBSURFACE BASIN INSTALLATIONS FOR THE FEATURES SHOWN ON THE PLANS STARTING AT THE FURTHEST DOWNSTREAM STRUCTURE. [SEE ADDITIONAL INFILTRATION FACILITY SEQUENCING, INSTALLATION AND MAINTENANCE & INSPECTION NOTES PROVIDED ON THE POST CONSTRUCTION STORMWATER MANAGEMENT PLANS FOR CONSTRUCTION OF THE SUBSURFACE INFILTRATION BASINS. THE PERMITTEE SHALL PROVIDE ENGINEERING OVERSIGHT FOR THE CONSTRUCTION OF SUBSURFACE BASINS. A LICENSED PROFESSIONAL OR DESIGNEE KNOWLEDGEABLE IN THE DESIGN AND CONSTRUCTION OF SUBSURFACE BASINS, PREFERABLY THE DESIGN ENGINEER, SHALL CONDUCT THE OVERSIGHT. INLETS DISCHARGING TO SUBSURFACE INFILTRATION BASINS MUST BE BLOCKED IMMEDIATELY AFTER INSTALLATION AND REMAIN BLOCKED UNTIL SITE IS FULLY STABILIZED TO PREVENT SEDIMENT FROM ENTERING THE SUBSURFACE DETENTION BASINS. NO CONSTRUCTION EQUIPMENT, SUCH AS CRANES DURING BUILDING CONSTRUCTION SHALL BE PARKED ON TOP OF THE SUBSURFACE BASINS TO AVOID DAMAGING THE SUBSURFACE BASINS OR OVER-COMPACTING THE SUBSURFACE SOILS.]
6. CONTINUE WITH THE BALANCE OF EARTHWORK INCLUDING UTILITY INSTALLATION (SANITARY, ELECTRIC, TELEPHONE, CABLE AND GAS) WHERE APPLICABLE.
7. INSTALL ALL CURBING SHOWN IN THIS PHASE AND INSTALL STONE BASE COURSE IN THE DRIVEWAY AND PARKING AREAS.
8. INITIATE FINAL GRADING AND PLACEMENT OF TOPSOIL IN ALL LANDSCAPE AREAS. AS SOON AS SLOPES, CHANNELS, DITCHES AND OTHER DISTURBED AREAS REACH FINAL GRADE, THEY MUST BE STABILIZED. ALL LANDSCAPE AREAS MUST BE STABILIZED AND PERMANENT SEEDING OR PLACEMENT OF SOO MUST BE APPLIED. WHEN FINAL GRADE IS ACHIEVED DURING NON-GERMINATING MONTHS, THE AREA SHOULD BE MULCHED UNTIL THE BEGINNING OF THE NEXT PLANTING SEASON. HOWEVER, THE AREA WILL NOT BE CONSIDERED STABILIZED UNTIL A MINIMUM UNIFORM 70% VEGETATIVE COVER OF EROSION RESISTANT PERENNIAL SPECIES HAS BEEN ACHIEVED. AS DISTURBED AREAS WITHIN A PROJECT APPROACH FINAL GRADE, PREPARATIONS SHOULD BE MADE FOR SEEDING AND MULCHING TO BEGIN (I.E. ANTICIPATE THE COMPLETION DATE AND SCHEDULE THE SEEDER). IN NO CASE SHOULD AN AREA EXCEEDING 15,000 SQUARE FEET, WHICH IS TO BE STABILIZED BY VEGETATION, REACH FINAL GRADE WITHOUT BEING SEEDED AND MULCHED. WAITING UNTIL EARTHWORKING IS COMPLETED BEFORE MAKING PREPARATIONS FOR SEEDING AND MULCHING IS NOT ACCEPTABLE. SEEDING AND MULCHING REQUIREMENTS ARE SPECIFIED IN THE GENERAL CONSERVATION NOTES AND SPECIFICATIONS.
9. A SITE INSPECTION AND APPROVAL BY THE CONSERVATION DISTRICT IS REQUIRED PRIOR TO REMOVAL OR CONVERSION OF SEDIMENT TRAPS AND BASINS. ONCE STONE BASE COURSE HAS BEEN SPREAD IN ALL PAVED AREAS AND ALL LANDSCAPE AREAS HAVE BEEN STABILIZED, BEGIN CONVERTING (SEDIMENT BASIN, SEDIMENT TRAP, BIO-RETENTION FACILITIES, RAINGARDENS, BIO-INFILTRATION FACILITIES) TO FINAL GRADES IN ACCORDANCE WITH BMP SEQUENCE OF CONSTRUCTION. THE PERMITTEE SHALL PROVIDE ENGINEERING OVERSIGHT FOR THE CONVERSION OF (INSERT BMP'S). A LICENSED PROFESSIONAL OR DESIGNEE KNOWLEDGEABLE IN THE DESIGN AND CONSTRUCTION OF (INSERT BMP'S), PREFERABLY THE DESIGN ENGINEER, SHALL CONDUCT THE OVERSIGHT.
10. INSTALL BITUMINOUS PAVEMENT AND CONCRETE INCLUDING SIDEWALKS.
11. INSTALL FINAL VEGETATION AND LANDSCAPING SPECIFIED ON THE LANDSCAPE PLAN.
12. UPON SITE STABILIZATION (UNIFORM COVERAGE OR DENSITY OF 70% ACROSS ALL DISTURBED AREAS) AND NOTIFICATION OF THE OHIO COUNTY CONSERVATION DISTRICT, REMOVE EROSION AND SEDIMENT CONTROL FACILITIES INCLUDING (LIST APPROPRIATE E&S CONTROLS). ANY AREA DISTURBED DURING THE REMOVAL OF EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE STABILIZED IMMEDIATELY.
13. CLEAR SITE OF DEBRIS AND ALL UNWANTED MATERIALS. OPERATOR SHALL REMOVE FROM SITE, RECYCLE OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP OR DISCHARGE ANY BUILDING MATERIAL OR WASTE AT THIS SITE.
14. DEMOBILIZE.
15. A NOTICE OF TERMINATION FORM SHOULD BE SUBMITTED TO THE OHIO COUNTY CONSERVATION DISTRICT UPON STABILIZATION AND FINAL COMPLETION OF THIS PROJECT.

LOCATION OF ALL SURFACE WATERS

THE SUBJECT SITE IS LOCATED WITHIN THE HUC 12 LONG RUN - WHEELING CREEK WATERSHED.

GENERAL PCSM PLANNING AND DESIGN

§102.8(d)

THE FOLLOWING MEASURES WERE TAKEN TO PRESERVE THE INTEGRITY OF STORM CHANNELS AND MAINTAIN AND PROTECT THE PHYSICAL, BIOLOGICAL, AND CHEMICAL QUALITIES OF THE RECEIVING STREAM.

- DIRECT RUNOFF FROM IMPERVIOUS SURFACES TO BMP'S
- THE USE OF NATIVE SPECIES REQUIRES LESS FERTILIZATION AND CHEMICAL APPLICATION THAN NONNATIVE SPECIES.

THE FOLLOWING MEASURES WERE TAKEN TO PREVENT AN INCREASE IN THE RATE OF STORMWATER RUNOFF:

- MINIMIZE IMPERVIOUS AREAS WHERE PRACTICAL.

THE FOLLOWING MEASURES WERE TAKEN TO MINIMIZE ANY INCREASE IN STORMWATER RUNOFF VOLUME:

- PROVIDE SUBSURFACE DETENTION BASIN TO HELP REDUCE RUNOFF VOLUME
- PROVIDE LANDSCAPING TO HELP REDUCE RUNOFF VOLUME
- RE-VEGETATE DISTURBED AREAS TO HELP REDUCE RUNOFF VOLUME
- MINIMIZE IMPERVIOUS AREAS WHERE PRACTICAL.

MEASURES WERE TAKEN TO MINIMIZE IMPERVIOUS AREAS.

THE FOLLOWING MEASURES ARE TAKEN TO MAXIMIZE PROTECTION OF EXISTING DRAINAGE FEATURES AND VEGETATION:

- ACCESS THE SITE THRU DESIGNATED CONSTRUCTION ENTRANCES

THE FOLLOWING MEASURES WERE TAKEN TO MINIMIZE LAND CLEARING AND GRADING:

- GRADE SITE TO MINIMIZE EXTENT OF CUTS/FILLS

THE FOLLOWING MEASURES ARE TAKEN TO MINIMIZE SOIL COMPACTION:

- ACCESS THE SITE THRU DESIGNATED CONSTRUCTION ENTRANCES
- USE OF TREADDED MACHINERY WHERE PRACTICAL DURING EARTHMOVING OPERATIONS
- GRADE SITE TO MINIMIZE EXTENT OF CUTS/FILLS

THE FOLLOWING MEASURES WERE TAKEN TO UTILIZE OTHER STRUCTURAL OR NONSTRUCTURAL BMP'S THAT PREVENT OR MINIMIZE CHANGES IN STORMWATER RUNOFF:

- DIRECT RUNOFF TO SUBSURFACE DETENTION BASIN TO HELP REDUCE RUNOFF VOLUME
- PROVIDE LANDSCAPING TO HELP REDUCE RUNOFF VOLUME
- RE-VEGETATE DISTURBED AREAS TO HELP REDUCE RUNOFF VOLUME
- MINIMIZE IMPERVIOUS AREAS WHERE PRACTICAL.

RECYCLING OR DISPOSAL OF MATERIALS

THE FOLLOWING IS A LIST THAT INCLUDES, BUT THAT IS NOT LIMITED TO, THE POTENTIAL CONSTRUCTION WASTES THAT MAY EXIST ON-SITE:

- CONCRETE CURB AND SIDEWALK
- ASPHALT
- E&S BMP - SILT FENCE
- E&S BMP - INLET PROTECTION
- E&S BMP - REGULATED FILL MATERIALS

ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE WV DEP'S SOLID WASTE MANAGEMENT REGULATIONS. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE. BELOW IS A LIST OF METHODS FOR THE PROPER RECYCLING/DISPOSAL OF VARIOUS MATERIALS:

- 1) DUST CONTROL - CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE SITE AT THE STABILIZED CONSTRUCTION ENTRANCE. THE PURPOSE IS TO TRAP DUST AND MUD THAT WOULD OTHERWISE BE CARRIED OFF-SITE BY CONSTRUCTION TRAFFIC. WATER TRUCKS WILL BE USED AS NEEDED DURING CONSTRUCTION TO REDUCE DUST GENERATED ON THE SITE. DUST CONTROL MUST BE PROVIDED BY THE CONTRACTOR TO A DEGREE THAT IS ACCEPTABLE TO THE LOCAL CONSERVATION DISTRICT. AFTER CONSTRUCTION, THE SITE WILL BE STABILIZED, WHICH WILL REDUCE THE POTENTIAL FOR DUST GENERATION.
- 2) SOLID WASTE DISPOSAL - NO SOLID MATERIALS, INCLUDING BUILDING MATERIALS, ARE ALLOWED TO BE DISCHARGED FROM THE SITE WITH STORMWATER. ALL SOLID WASTE, INCLUDING DISPOSABLE MATERIALS INCIDENTAL TO THE MAJOR CONSTRUCTION ACTIVITIES, MUST BE COLLECTED AND PLACED IN CONTAINERS. THE CONTAINERS WILL BE EMPTIED AS NECESSARY BY A CONTRACT TRASH DISPOSAL SERVICE AND HAULED AWAY FROM THE SITE.
- 3) SANITARY FACILITIES - ALL PERSONNEL INVOLVED WITH CONSTRUCTION ACTIVITIES MUST COMPLY WITH STATE AND LOCAL SANITARY OR SEPTIC SYSTEM REGULATIONS. TEMPORARY SANITARY FACILITIES WILL BE PROVIDED AT THE SITE THROUGHOUT THE CONSTRUCTION PHASE. THEY MUST BE UTILIZED BY ALL CONSTRUCTION PERSONNEL AND WILL BE SERVICED BY A LICENSED COMMERCIAL OPERATOR.
- 4) WATER SOURCE - NON-STORMWATER COMPONENTS OF SITE DISCHARGE MUST BE CLEAN WATER. WATER USED FOR CONCRETE WHICH IS DISCHARGED FROM THE SITE MUST ORIGINATE FROM A PUBLIC WATER SUPPLY OR PRIVATE WELL APPROVED BY THE STATE HEALTH DEPARTMENT. WATER USED FOR CONSTRUCTION THAT DOES NOT ORIGINATE FROM AN APPROVED PUBLIC SUPPLY MUST NOT DISCHARGE FROM THE SITE.
- 5) CONCRETE WASTE FROM CONCRETE READY-MIX TRUCKS - DISCHARGE OF EXCESS OR WASTE CONCRETE AND/OR WASH WATER FROM CONCRETE TRUCKS WILL BE ALLOWED ON THE CONSTRUCTION SITE, BUT ONLY IN SPECIFICALLY DESIGNATED DIKED AREAS PREPARED TO PREVENT CONTACT BETWEEN THE CONCRETE AND/OR WASH WATER AND STORMWATER THAT WILL BE DISCHARGED FROM THE SITE.

CRITICAL STAGES

- INSTALLATION OF SUBSURFACE DETENTION BASIN

LONG-TERM OPERATION AND MAINTENANCE SCHEDULE

§102.8(f)(10)

1. UNTIL THE SITE IS STABILIZED AND DURING THE CONSTRUCTION ACTIVITIES, ALL BMP'S MUST BE MAINTAINED PROPERLY BY CONTRACTOR. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL BMP'S AS SPECIFIED, ALL PREVENTATIVE AND REPAIR/REPLACEMENT WORK, INCLUDING CLEAN-OUT, REPAIR, REPLACEMENT, RE-GRADING, RE-SEEDING, RE-MULCHING AND RE-NETTING MUST BE PERFORMED IMMEDIATELY AND IN ACCORDANCE WITH THESE PROCEDURES, PLANS, AND DETAILS. ANY AREAS DISTURBED DURING MAINTENANCE MUST BE STABILIZED IMMEDIATELY IN ACCORDANCE WITH THE GENERAL CONSERVATION NOTES AND SPECIFICATIONS.
2. ALL SITE INSPECTIONS MUST BE DOCUMENTED IN AN INSPECTION LOG KEPT FOR THIS PURPOSE INDICATING THE COMPLIANCE ACTIONS AND THE DATE, TIME AND NAME OF THE PERSON CONDUCTING THE INSPECTION. THE INSPECTION LOG MUST BE KEPT ON SITE AT ALL TIMES AND MADE AVAILABLE TO THE DISTRICT UPON REQUEST.
3. SHOULD ON-SITE EROSION OCCUR FROM THE LANDSCAPED AREAS, THE SOURCE OF EROSION SHALL BE IMMEDIATELY STABILIZED AND THE INLETS AND STORMWATER PIPING SHALL BE CHECKED FOR ACCUMULATION AND CLEARED IF ACCUMULATION OF SEDIMENT EXISTS.
4. HEAVY CONSTRUCTION VEHICLES SHALL NOT BE PARKED ON OR DRIVEN OVER BMP FACILITIES AND CARE SHOULD BE TAKEN TO AVOID EXCESSIVE COMPACTION BY EQUIPMENT, INCLUDING MOWERS.
5. INSPECT INFILTRATION FACILITIES AFTER RUNOFF EVENTS AND MAKE SURE THAT RUNOFF DRAINS DOWN WITHIN 72 HOURS. INSPECT FOR ACCUMULATION OF SEDIMENT, DAMAGE TO OUTLET CONTROL STRUCTURES, SIGNS OF WATER CONTAMINATION/SPILLS, AND SIGNS OF EROSION.
6. REMOVE ACCUMULATED SEDIMENT FROM THE FACILITIES AS REQUIRED. RESTORE ORIGINAL CROSS-SECTION IF NECESSARY. PROPERLY DISPOSE OF SEDIMENT AS SPECIFIED. FOR ABOVE-GROUND INFILTRATION FACILITIES, REMOVE AND REPLACE SAND/STONE LAYER AS NECESSARY IF FACILITY DEWATERING TIME EXCEEDS 72 HOURS.

_____ IS RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE STORMWATER MANAGEMENT BMP'S AS DESCRIBED HEREIN.

BMP NO.	DESCRIPTION	SCHEDULE	INSPECTION TASK	MAINTENANCE	FAILURE INDICATORS
STORM DRAINAGE SYSTEM	INLETS, MANHOLES, AND STORMWATER PIPING.	EVERY 3 MONTHS	• INSPECT INLETS, MANHOLES, AND STORMWATER PIPING	CLEAR SEDIMENT AND DEBRIS FROM ALL ON-SITE INLETS, MANHOLES, AND STORMWATER PIPING.	EXCESSIVE PONDING/DRAINAGE THROUGH THE INLET GRATES COULD INDICATE THAT THERE MAY BE SEDIMENT/DEBRIS BUILDUP.

GEOLOGIC FORMATIONS OR SOIL CONDITIONS

THERE ARE NO GEOLOGIC FORMATIONS OR SOIL CONDITIONS THAT COULD CAUSE CONTAMINANT POLLUTION DURING EARTH DISTURBANCE ACTIVITIES.

BELOW ARE INSTRUCTIONS FOR THE PROPER HANDLING AND/OR DISPOSAL OF ALL MATERIALS THAT COULD CAUSE POLLUTION:

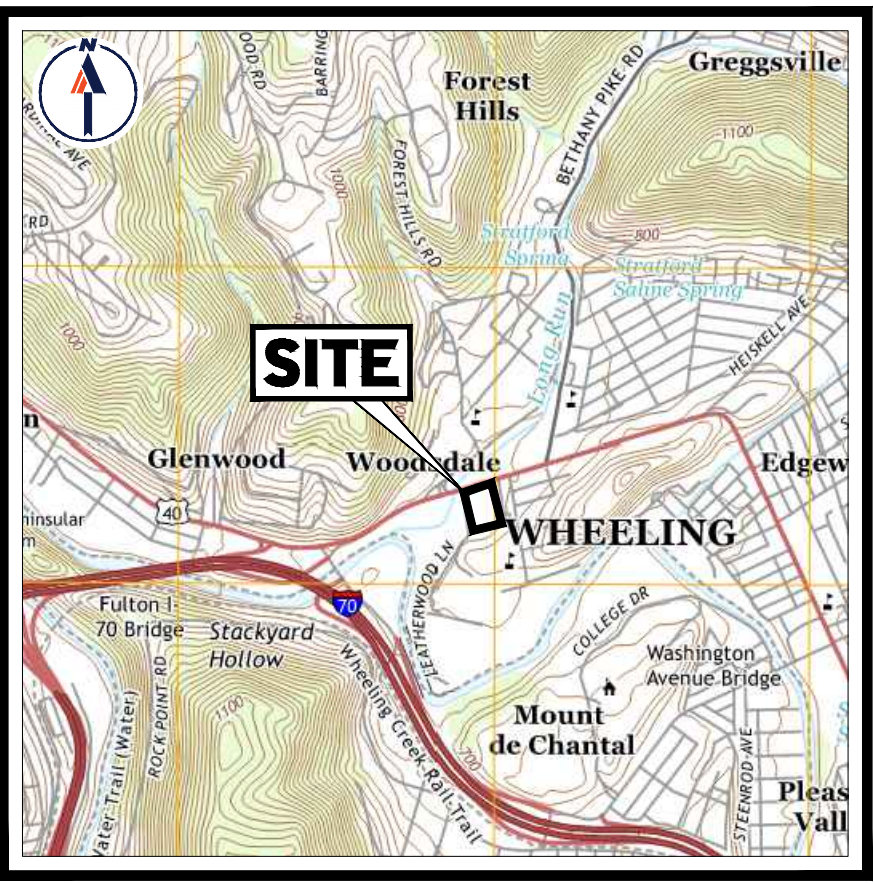
1. ANY HAZARDOUS OR POTENTIALLY HAZARDOUS MATERIAL THAT IS BROUGHT ON TO THE CONSTRUCTION SITE SHALL BE HANDLED PROPERLY TO REDUCE THE POTENTIAL FOR STORMWATER POLLUTION. ALL MATERIALS USED ON THIS CONSTRUCTION SITE SHALL BE PROPERLY STORED, HANDLED, DISPENSED AND DISPOSED OF FOLLOWING ALL APPLICABLE LABEL DIRECTIONS. FLAMMABLE AND COMBUSTIBLE LIQUIDS SHALL BE STORED AND HANDLED ACCORDING TO APPLICABLE REGULATIONS, AND, AT A MINIMUM, ACCORDING TO 29 CFR 1926.152. ONLY APPROVED CONTAINERS AND PORTABLE TANKS SHALL BE USED FOR STORAGE AND HANDLING OF FLAMMABLE AND COMBUSTIBLE LIQUIDS.
2. MATERIAL SAFETY DATA SHEETS (MSDS) INFORMATION SHALL BE KEPT ON SITE FOR ANY AND ALL APPLICABLE MATERIALS. HOWEVER, MSDS MAY ALSO BE ACCESSED VIA TELEPHONE OR OTHER ELECTRONIC MEANS OR APPARATUS.
3. IN THE EVENT OF AN ACCIDENTAL SPILL, IMMEDIATE ACTION SHALL BE TAKEN BY THE GC TO CONTAIN AND REMOVE THE SPILLED MATERIAL. THE SPILL SHALL BE REPORTED TO THE APPROPRIATE AGENCIES IN THE REQUIRED TIME FRAMES, AS REQUIRED UNDER THE PROVISIONS OF THE CLEAN WATER ACT, ANY SPILL OR DISCHARGE ENTERING WATERS OF THE UNITED STATES SHALL BE PROPERLY REPORTED.
4. ALL HAZARDOUS MATERIALS, INCLUDING CONTAMINATED SOIL AND LIQUID CONCRETE WASTE, SHALL BE DISPOSED OF BY THE CONTRACTOR IN THE MANNER SPECIFIED BY FEDERAL, STATE AND LOCAL REGULATIONS AND BY THE MANUFACTURER OF SUCH PRODUCTS.
5. THE GC SHALL PREPARE A WRITTEN RECORD OF ANY SPILL AND ASSOCIATED CLEAN-UP ACTIVITIES OF PETROLEUM PRODUCTS OR HAZARDOUS MATERIALS IN EXCESS OF 1 GALLON OR REPORTABLE QUANTITIES, WHICHEVER IS LESS, ON THE DAY OF THE SPILL. THE GC SHALL PROVIDE NOTICE TO OWNER VIA THE ONLINE CRITICAL INCIDENT REPORT, IMMEDIATELY UPON IDENTIFICATION OF ANY SPILL. SPILL REPORT FORMS ARE AVAILABLE IN THE ONLINE SWPPP REPORTING SYSTEM PROVIDED BY THE OWNER. COPIES OF SPILL CRITICAL INCIDENT REPORTS SHALL BE PRINTED AND MAINTAINED IN THE JOBSITE BINDER.
6. ANY SPILLS OF PETROLEUM PRODUCTS OR HAZARDOUS MATERIALS IN EXCESS OF REPORTABLE QUANTITIES AS DEFINED BY EPA OR THE STATE OR LOCAL AGENCY REGULATIONS, SHALL BE IMMEDIATELY REPORTED TO THE EPA NATIONAL RESPONSE CENTER (1-800-424-8802) AND THE COUNTY CONSERVATION DISTRICT (_____).
7. AS PER THE PA GENERAL PERMIT, ANY TIME THE PERMITTEE OR CO-PERMITTEE BECOMES AWARE OF ANY INCIDENT CAUSING OR THREATENING POLLUTION AS DESCRIBED IN 25. PA CODE SECTION 91.33, AS REQUIRED BY 25. PA CODE SECTION 92A.41(B), THE PERMITTEE AND CO-PERMITTEE(S) SHALL, WITHIN 24 HOURS, CONTACT THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT, BY PHONE OR PERSONAL CONTACT, FOLLOWED BY SUBMISSION OF A WRITTEN REPORT WITHIN FIVE (5) DAYS OF THE INITIAL CONTACT.
8. TO MINIMIZE THE POTENTIAL FOR A SPILL OF PETROLEUM PRODUCT OR HAZARDOUS MATERIALS TO COME IN CONTACT WITH STORMWATER, THE FOLLOWING STEPS SHALL BE IMPLEMENTED:
 - (1) ALL MATERIALS WITH HAZARDOUS PROPERTIES, SUCH AS PESTICIDES, PETROLEUM PRODUCTS, FERTILIZERS, SOAPS, DETERGENTS, CONSTRUCTION CHEMICALS, ACIDS, BASES, PAINTS, PAINT SOLVENTS, ADDITIVES FOR SOIL STABILIZATION, CONCRETE, CURING COMPOUNDS AND ADDITIVES, ETC., SHALL BE STORED IN A SECURE LOCATION, UNDER COVER AND IN APPROPRIATE, TIGHTLY SEALED CONTAINERS WHEN NOT IN USE.
 - (2) THE MINIMUM PRACTICAL QUANTITY OF ALL SUCH MATERIALS SHALL BE KEPT ON THE JOB SITE AND SCHEDULED FOR DELIVERY AS CLOSE TO TIME OF USE AS PRACTICAL.
 - (3) A SPILL CONTROL AND CONTAINMENT KIT (CONTAINING FOR EXAMPLE, ABSORBENT MATERIAL SUCH AS KITTY LITTER OR SAWDUST, ACID/BASE NEUTRALIZING AGENT, BROOMS, DUST PANS, MOPS, BAGS, GLOVES, GOGGLES, PLASTIC AND METAL TRASH CONTAINERS, ETC.) SHALL BE PROVIDED AT THE CONSTRUCTION SITE AND ITS LOCATION(S) SHALL BE IDENTIFIED WITH LEGIBLE SIGNAGE AND SHOWN ON SITE MAPS.
 - a. THE SPILL CONTROL AND CONTAINMENT KIT SUPPLIES SHALL BE OF SUFFICIENT QUANTITIES AND APPROPRIATE CONTENT TO CONTAIN A SPILL FROM THE LARGEST ANTICIPATED PIECE OF EQUIPMENT AND FROM THE LARGEST ANTICIPATED QUANTITIES OF PRODUCTS STORED ON THE SITE AT ANY GIVEN TIME.
 - b. CONTENTS SHALL BE INSPECTED DAILY DURING THE DAILY STORMWATER INSPECTION.
 - (4) ALL PRODUCTS SHALL BE STORED IN AND USED FROM THE ORIGINAL CONTAINER WITH THE ORIGINAL PRODUCT LABEL. CONTAINERS MUST BE STORED IN A MANNER TO PROTECT THEM FROM THE ELEMENTS AND INCIDENTAL DAMAGE.
 - (5) ALL PRODUCTS SHALL BE USED IN STRICT COMPLIANCE WITH INSTRUCTIONS ON THE PRODUCT LABEL.
 - (6) THE DISPOSAL OF EXCESS OR USED PRODUCTS SHALL BE IN STRICT COMPLIANCE WITH INSTRUCTIONS ON THE PRODUCT LABEL AND REGULATIONS.

RIPARIAN FOREST BUFFER MANAGEMENT PLAN

- REGARDING EXISTING OR PROPOSED RIPARIAN FOREST BUFFERS, NOTE THE FOLLOWING:
- THERE ARE NO EXISTING/PROPOSED RIPARIAN FOREST BUFFERS LOCATED WITHIN OR OUTSIDE THE LIMITS OF DISTURBANCE FOR THIS PROJECT.

PCSM - GENERAL BMP NOTES

1. A SITE INSPECTION AND APPROVAL BY THE COUNTY CONSERVATION DISTRICT IS REQUIRED PRIOR TO THE REMOVAL OR CONVERSION OF SEDIMENT BASINS AND TRAPS.
2. BOHLER ENGINEERING SHALL BE NOTIFIED OF PRE-CONSTRUCTION MEETING DATE AND BMP CONSTRUCTION SCHEDULE.
3. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO LIMIT THE COMPACTION IN THE PROPOSED BMP BOTTOMS.
4. REFER TO THE BMP CONSTRUCTION DETAILS FOR THE CONSTRUCTION OF ALL PROPOSED STORMWATER MANAGEMENT BMP'S.
5. REFER TO THE PCSM PLAN AND DETAILS FOR SPECIFIC BMP CONSTRUCTION GUIDELINES.
6. AS-BUILT PLANS OF THE STORMWATER BMP'S FOR EACH PROJECT PHASE SHALL BE PROVIDED WITHIN SIX MONTHS FOLLOWING THE COMPLETION OF EACH PHASE. THE AS-BUILT PLANS SHALL BE SIGNED AND SEALED BY A PA REGISTERED PROFESSIONAL SURVEYOR.
7. A NOTICE OF TERMINATION (NOT) WILL BE REQUIRED TO BE SUBMITTED FOLLOWING APPROVAL OF THE FINAL AS-BUILT PLANS. PRIOR TO ACCEPTING THE NOT, THE DEPARTMENT AND/OR CONSERVATION DISTRICT STAFF WILL PERFORM A FINAL INSPECTION TO ENSURE SITE STABILIZATION AND VERIFY ADEQUATE INSTALLATION AND FUNCTION OF STORMWATER BMP'S.



USGS MAP

SCALE: 1" = 2,000'
SOURCE: USGS



SOIL MAP

SCALE: 1" = 200'
SOURCE: WEB SOIL SURVEY

TYPES, DEPTH, SLOPE, LOCATIONS, AND LIMITATIONS OF THE SOILS

SOIL DESCRIPTIONS

SOIL	DESCRIPTION	SOIL GROUP
Uu	- URBAN LAND-UOORHTENTS COMPLEX	N/A

SOIL USE LIMITATIONS AND THEIR RESOLUTIONS PROVIDED

CONTRACTOR SHALL CONSULT WITH GEOTECHNICAL ENGINEER TO DETERMINE SOIL LIMITATIONS AND RESOLUTIONS SPECIFIC TO THIS PROJECT.

1. SOIL TYPES POORLY SUITED AS SOURCES OF TOPSOIL. RESTRICT OR PLACE CONDITIONS ON PLANNING VEGETATIVE STABILIZATION. ACIDIC, LOW FERTILITY, EXCESSIVE DRYNESS AND EXCESSIVE WETNESS LIMIT PLANT GROWTH.
 - RESOLUTIONS: IDENTIFYING AND RESOLVING CHARACTERISTICS, THAT RENDER THE SOIL TYPES POORLY SUITED AS TOPSOIL.
2. ACIDIC SOIL TYPES EXHIBITING PH REACTION VALUES LOWER THAN ABOUT 5.5. LIMIT VEGETATIVE STABILIZATION. SOIL TESTS MIGHT BE NECESSARY TO DETERMINE SITE SPECIFIC PH REACTION.
 - RESOLUTIONS: APPLYING LIME CONSISTENT WITH RATES DETERMINED BY SOIL TESTING; SELECTING VEGETATIVE SPECIES TOLERANT TO ACIDIC SOIL CONDITIONS; AND IMPLEMENTING COMBINATIONS OF THESE AND/OR OTHER METHODS. SPECIFIC TOLERANCE INFORMATION IS PROVIDED IN TABLE 1 OF THE EROSION CONTROL & CONSERVATION PLANTINGS ON NONCROPLAND PUBLISHED BY PENN STATE.
3. LOW FERTILITY SOIL TYPES LACKING IN SUFFICIENT AMOUNTS OF ESSENTIAL PLANT NUTRIENTS SUCH AS: NITRGEN, PHOSPHOROUS, POTASSIUM, SULFUR, MAGNESIUM, CALCIUM, IRON, MANGANESE, BORON, CHLORINE, ZINC, COPPER AND MOLYBDENUM, LIMIT VEGETATION STABILIZATION. SOIL TESTS MIGHT BE NECESSARY TO DETERMINE SITE SPECIFIC SOIL FERTILITY.
 - RESOLUTIONS: INCORPORATING SOIL NUTRIENTS CONSISTENT WITH RATES DETERMINED BY SOIL TESTING; SELECTIVE VEGETATIVE SPECIES TOLERANT TO LOW FERTILITY SOIL CONDITIONS, AND IMPLEMENTING COMBINATIONS OF THESE AND/OR OTHER METHODS. SPECIFIC TOLERANCE INFORMATION IS PROVIDED IN TABLE 1 OF THE EROSION CONTROL & CONSERVATION PLANTINGS ON NONCROPLAND PUBLISHED BY PENN STATE.
4. ERODIBLE SOIL TYPES EXHIBITING K VALUES GREATER THAN 0.36 OR PLASTICITY INDEX VALUES LOWER THAN 10. LIMIT VEGETATIVE STABILIZATION OF CHANNELS.
 - RESOLUTIONS: TEMPORARY CHANNEL LINING, PROVIDING PERMANENT CHANNEL LINING, DECREASING CHANNEL GRADE, INCREASING CHANNEL WIDTH, SELECTING VEGETATIVE WITH GREATER RETARDANCE, SELECTING PERMANENT LININGS OTHER THAN GRASSES, AND IMPLEMENTING COMBINATION OF THESE AND/OR METHODS. VEGETATIVE RETARDANCE INFORMATION IS PROVIDED IN TABLES 6 AND 7 OF THE EROSION AND SEDIMENT POLLUTION CONTROL MANUAL PUBLISHED BY PADEP.
5. WET SOIL TYPES HAVE EXCESSIVE ROOT ZONE AND SOIL MOISTURES. SOME SOIL SURVEYS INDICATE WETNESS, HIGH WATER TABLE AND FLOODING. THIS INDICATOR IS AFFECTED BY SOIL DISTURBANCE.
 - RESOLUTIONS: SELECTING VEGETATIVE SPECIES TOLERANT TO WET CONDITIONS, TILING VEGETATIVE AREAS, AND IMPLEMENTING COMBINATIONS OF THESE AND/OR OTHER METHODS. SPECIFIC TOLERANCE INFORMATION IS PROVIDED IN TABLE 1 OF THE EROSION CONTROL & CONSERVATION PLANTINGS ON NONCROPLAND PUBLISHED BY THE PENN STATE.
6. DRY SOIL TYPES LACK SUFFICIENT ROOT ZONE SOIL MOISTURES. THIS INDICATOR IS AFFECTED BY SOIL DISTURBANCE.
 - RESOLUTIONS: SELECTING VEGETATIVE SPECIES TOLERANT TO DRY CONDITIONS, IRRIGATING VEGETATED AREAS AND IMPLEMENTING COMBINATION OF THESE AND/OR OTHER METHODS. SPECIFIC TOLERANCE INFORMATION IS PROVIDED IN TABLE 1 OF THE EROSION CONTROL & CONSERVATION PLANTINGS ON NONCROPLAND PUBLISHED BY PENN STATE.
7. SOIL TYPES SUSCEPTIBLE TO SINKHOLE AND SOLUTION CHANNEL/CHAMBER FORMATION POSE LIMITATIONS ON LOCATING RESERVOIR AREAS OF SEDIMENT BASINS, SEDIMENT TRAPS, STORMWATER RETENTION BASINS, AND STORMWATER DETENTION BASINS.
 - RESOLUTIONS: LOCATING THOSE FACILITIES ON OTHER SOIL TYPES, LINING RESERVOIR AREAS WITH IMPERMEABLE LININGS, LIMITING STANDING WATER DEPTHS, LIMITING RETENTION TIMES AND IMPLEMENTING COMBINATIONS OF THESE AND/OR OTHER METHODS.
8. SOIL TYPES THAT EXHIBIT INSTABILITY IN POND EMBANKMENTS OR SUSCEPTIBILITY TO PIPING AND SEEPING POSE LIMITATIONS ON PLANNING EMBANKMENTS OF SEDIMENT BASINS, SEDIMENT TRAPS, STORMWATER RETENTION BASINS AND STORMWATER DETENTION BASINS.
 - RESOLUTIONS: IMPORTING OTHER SOIL FOR EMBANKMENT OF THOSE FACILITIES, LOCATING THOSE FACILITIES ON OTHER SOIL TYPES, LIMITING EMBANKMENT SLOPE STEEPNESS AND IMPLEMENTING COMBINATIONS OF THESE AND/OR OTHER METHODS.
9. SOIL THAT ARE DIFFICULT TO COMPACT, UNSUITABLE FOR WINTER GRADING, OR SUSCEPTIBLE TO FROST ACTION POSE LIMITATIONS ON PLANNING EMBANKMENTS OF SEDIMENT BASINS, SEDIMENT TRAPS, STORMWATER RETENTION BASINS AND STORMWATER DETENTION BASINS.
 - RESOLUTIONS: IMPORTING OTHER SOIL FOR EMBANKMENT OF THOSE FACILITIES, LOCATING THOSE FACILITIES ON OTHER SOIL TYPES, NOT CONSTRUCTING EMBANKMENTS DURING PERIODS PRONE TO FROST AND IMPLEMENTING COMBINATIONS OF THESE AND/OR OTHER METHODS.
10. SUSCEPTIBILITY FOR THE DEVELOPMENT OF SINKHOLE WITHIN IDENTIFIED SOILS.
 - RESOLUTIONS: IN THE EVENT THAT PRESENCE OF A SINKHOLE IS DETECTED DURING THE COURSE OF WORK, CORRECTIVE MEASURES SHALL BE PERFORMED UNDER THE OBSERVATION AND GUIDANCE OF THE OWNER'S GEOTECHNICAL CONSULTANT. EXCAVATE THE LOOSE, WET SOILS SURROUNDING THE SINKHOLE TO EXPOSE THE SINKHOLE "THROAT" (THE OPENING IN THE ROCK) AND THE ADJACENT STABLE SOILS/ROCK WHERE POSSIBLE. THE EXCAVATION SHALL EXTEND A MINIMUM OF TWO FEET (2') BEYOND THE STABLE SOILS OR TO THE ROCK SURFACE, WHICHEVER IS ENCOUNTERED FIRST. FILL THE EXPOSED SINKHOLE "THROAT" WITH LEAN CONCRETE TO BLOCK THE MIGRATION OF THE UPPER LAYERS OF SOIL THROUGH THE ROCK OPENING. AFTER CONCRETE HAS CURED OVERNIGHT BACKFILL THE REMAINDER OF THE EXCAVATION WITH CLAYEY SOILS TO PROVIDE A LOW PERMEABILITY BARRIER. THE CLAYEY SOILS SHALL BE PLACED IN 8" LIFTS AND EACH LIFT COMPACTED BY REPEATED PASSES OF THE COMPACTION EQUIPMENT UNTIL STABLE. CARE SHALL BE TAKEN TO ASSURE THAT THE SOIL AT THE EDGES OF THE EXCAVATION ARE WELL COMPACTED.

BOHLER
 SITE CIVIL AND CONSULTING ENGINEERING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY

Know what's below.
Call before you dig.
 WEST VIRGINIA
 YOU MUST CALL 811 BEFORE ANY EXCAVATION
 WHETHER IT'S ON PRIVATE OR PUBLIC LAND.
 1-800-245-4848
 www.wv811.com

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.:	PB214045
DRAWN BY:	APM
CHECKED BY:	MWT
DATE:	10/28/2022
CAD ID.:	PB214045-CNDS-00

PROJECT:

**PRELIMINARY/
FINAL LAND
DEVELOPMENT
PLANS**

FOR _____

KELLBENN, INC.

PROPOSED DEVELOPMENT

842 NATIONAL ROAD
CITY OF WHEELING
OHIO COUNTY, WV 26003

BOHLER

1 ALLEGHENY SQUARE, SUITE 402
PITTSBURGH, PA 15212
Phone: (724) 638-8500

www.BohlerEngineering.com

M.W. TAKACS

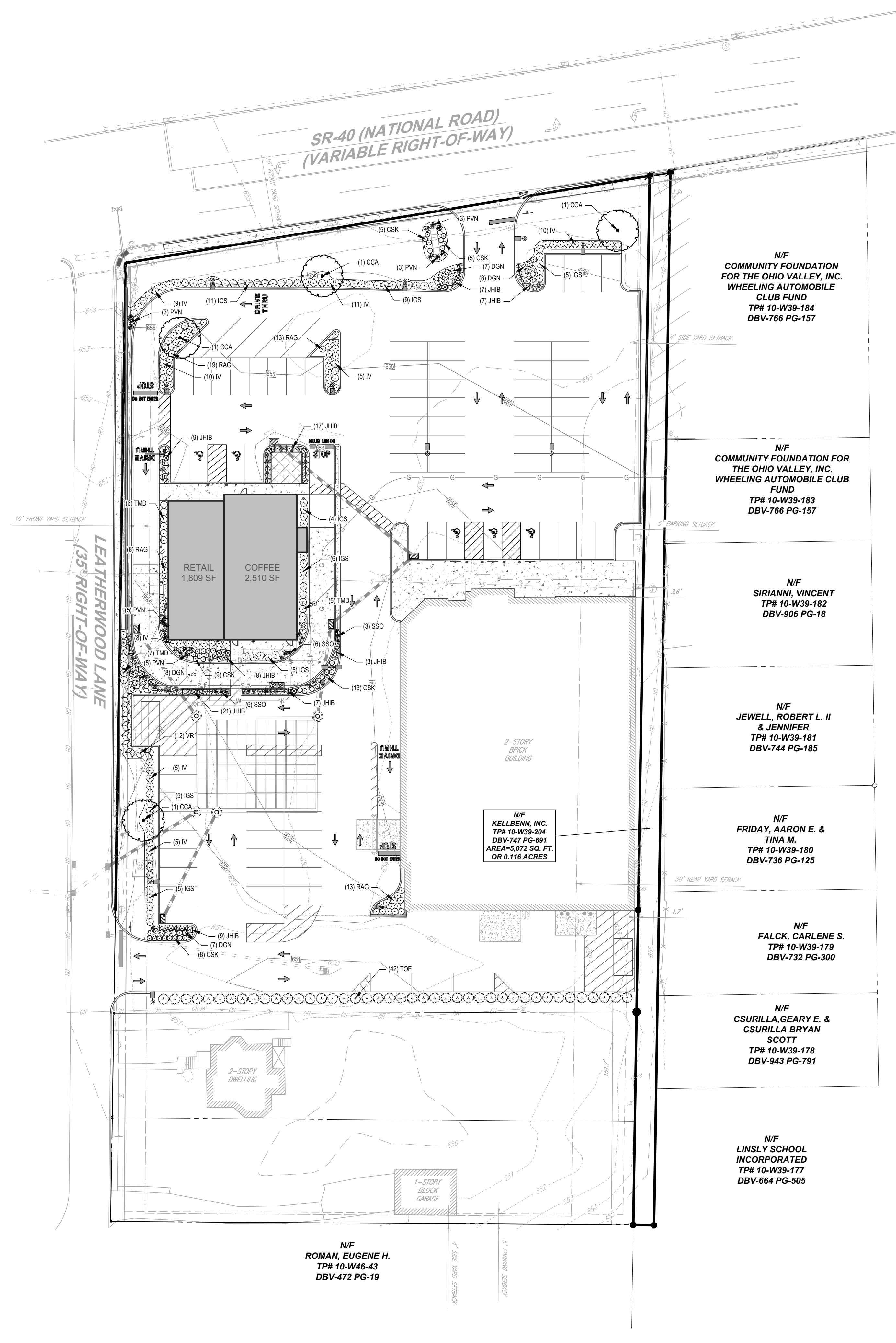
REGISTERED LANDSCAPE ARCHITECT
WEST VIRGINIA LICENSE No. _____

**POST
CONSTRUCTION
STORMWATER
MANAGEMENT
NOTES**

SHEET NUMBER:

C-606

ORG. DATE - 10



SR-40 (NATIONAL ROAD)
(VARIABLE RIGHT-OF-WAY)

LEATHERWOOD LANE
(35' RIGHT-OF-WAY)

N/F
COMMUNITY FOUNDATION
FOR THE OHIO VALLEY, INC.
WHEELING AUTOMOBILE
CLUB FUND
TP# 10-W39-184
DBV-766 PG-157

N/F
COMMUNITY FOUNDATION FOR
THE OHIO VALLEY, INC.
WHEELING AUTOMOBILE CLUB
FUND
TP# 10-W39-183
DBV-766 PG-157

N/F
SIRIANNI, VINCENT
TP# 10-W39-182
DBV-906 PG-18

N/F
JEWELL, ROBERT L. II
& JENNIFER
TP# 10-W39-181
DBV-744 PG-185

N/F
FRIDAY, AARON E. &
TINA M.
TP# 10-W39-180
DBV-736 PG-125

N/F
FALCK, CARLENE S.
TP# 10-W39-179
DBV-732 PG-300

N/F
CSURILLA, GEARY E. &
CSURILLA BRYAN
SCOTT
TP# 10-W39-178
DBV-943 PG-791

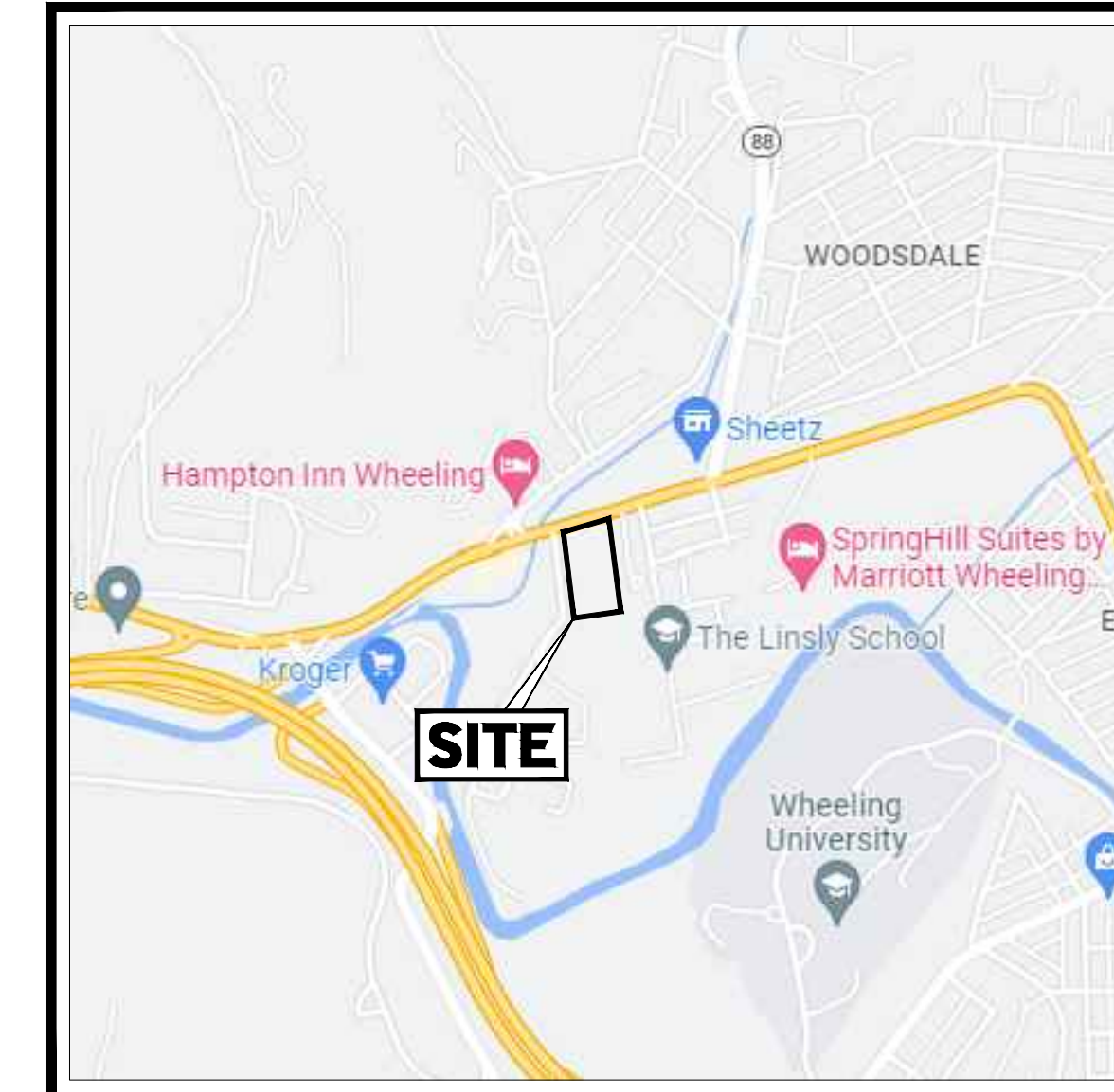
N/F
LINSLEY SCHOOL
INCORPORATED
TP# 10-W39-177
DBV-664 PG-505

N/F
ROMAN, EUGENE H.
TP# 10-W46-43
DBV-472 PG-19

N/F
KELLBENN, INC.
TP# 10-W39-204
DBV-747 PG-691
AREA=3,072 SQ. FT.
OR 0.116 ACRES

GENERAL NOTES:

- THIS PLAN IS TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY.
- ALL DISTURBED UNPAVED AREAS, EXCLUDING PLANTING BEDS, ARE TO BE INSTALLED AS LAWN IN ACCORDANCE WITH LANDSCAPE SPECIFICATION #2.C, UNLESS OTHERWISE STATED ON THIS PLAN.
- SHRUBS PLANTED ALONG HEAD-IN PARKING STALLS SHALL BE INSTALLED TO ALLOW A CLEARANCE OF TWO FEET FROM FACE OF CURB TO ALLOW FOR BUMPER OVERHANGS.
- IF IRRIGATION IS REQUIRED BY THE OWNER OR APPROVING MUNICIPALITY, THE CONTRACTOR SHALL PROVIDE AN IRRIGATION SYSTEM MEETING THE SPECIFICATIONS OF THE CHOSEN PRODUCT'S MANUFACTURER. THE IRRIGATION DESIGN SHALL ACCOMMODATE LAWN AND BED AREAS EACH UNDER SEPARATE ZONES TO MAXIMIZE WATER EFFICIENCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ANY PERMITS REQUIRED FOR THE INSTALLATION OF AN IRRIGATION SYSTEM.
- PLANT MATERIAL SUBSTITUTIONS MUST BE FORMALLY SUBMITTED TO BOHLER ENGINEERING AND THE MUNICIPAL ENGINEER AND LANDSCAPE CONSULTANTS FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. ANY PLANT MATERIAL THAT ARE TO BE INSTALLED WITHIN STORMWATER BMP FEATURES MUST BE NATIVE SPECIES.
- WITHOUT EXCEPTION, WEED BARRIER FABRIC SHALL NOT BE INSTALLED WITHIN ANY BMP FACILITY. BMP FACILITIES INCLUDE RAINGARDENS, INFILTRATION TRENCHES, VEGETATIVE SWALES AND STORMWATER BASINS.



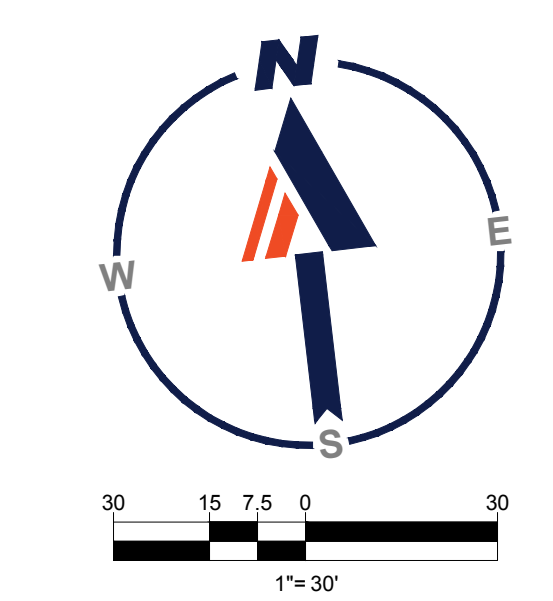
LOCATION MAP
SCALE: 1" = 1,000'
SOURCE: GOOGLE MAPS

COMPLIANCE CHART

SECTION	REQUIREMENT	CALCULATIONS (REQUIRED / PROVIDED)	COMPLIANCE
ZONING: 1355.05 REQUIRED LANDSCAPING IN ALL DISTRICTS EXCEPT R-1A, R-1B, R-1C AND R-2	A. AT LEAST ONE MAJOR DECIDUOUS SHADE TREE, NOT LESS THAN TWO AND ONE-HALF INCHES CALIPER MEASURED THREE FEET ABOVE THE GROUND AT THE TIME OF PLANTING, SHALL BE PROVIDED WITHIN EACH PARKING AREA FOR EVERY 3,000 SQUARE FEET OF PAVED AREA OR EVERY TEN PARKING SPACES, WHICHEVER IS GREATER. THE TREES SHALL BE SPACED EVENLY THROUGHOUT THE LOT INTERIOR TO PROVIDE SHADE AND REDUCE GLARE. IN ALL OFF-STREET PARKING AREAS CONTAINING TWENTY-FIVE OR MORE PARKING SPACES, AT LEAST TEN PERCENT OF THE INTERIOR OF THE PARKING AREA SHALL BE CURBED AND LANDSCAPED WITH TREES, SHRUBS, AND OTHER PLANTS.	TOTAL PARKING AREA: 51,537 ± SF REQUIRED: 51,537 / 3,000 = 17.2 OR 18 TREES PROVIDED: 4 CCA (4 TREES)	VARIANCE
1355.06 REQUIRED SCREENING ALL DISTRICTS EXCEPT R-1A, R-1B, R-1C AND R-2	A. ALL OFF-STREET PARKING AREAS, OFF STREET LOADING AREAS, OUTDOOR STORAGE AREAS, REFUSE AND RECYCLING AREAS, AND UTILITY IMPROVEMENTS SUCH AS TRANSFORMER(S), EXTERNAL HEATING AND COOLING EQUIPMENT SHALL BE EFFECTIVELY SCREENED. C. THE SCREENING SHALL BE ALONG THE LOT LINES THAT ADJOIN, ABUT, OR ARE ADJACENT TO OR FACE PREMISES SITUATED IN ANY RESIDENTIAL ZONE OR INSTITUTIONAL BUILDINGS. IT SHALL BE OF EVERGREEN PLANTING OF SUCH TYPE, HEIGHT, AND SPACING AS IN THE JUDGMENT OF THE PLANNING ADMINISTRATOR OR PLANNING COMMISSION, WILL EFFECTIVELY SCREEN THE ACTIVITIES ON THE LOT FROM THE VIEW OF PERSONS STANDING ON ADJOINING PROPERTIES. THE PLAN AND SPECIFICATIONS FOR SUCH PLANTING SHALL BE FILED WITH THE APPROVED PLAN FOR THE USE OF THE LOT. D. A WALL OR FENCE, OF LOCATION, HEIGHT, AND DESIGN APPROVED BY THE PLANNING ADMINISTRATOR OR PLANNING COMMISSION, MAY BE SUBSTITUTED FOR THE REQUIRED PLANTING.	TOTAL PARKING AREA: 51,727 ± SF REQUIRED (10%): 5,173 SF LANDSCAPE AREA PROVIDED: 1027.8 ± SF LANDSCAPE AREA (1.98%)	VARIANCE
D. ALL ISLANDS AND SCREENS (SEE SECTION 1355.06) SHALL BE LANDSCAPED WITH TREES, SHRUBS, GRASSES, AND/OR GROUND COVERS. THE MATERIALS SELECTED FOR THE LANDSCAPED OVERHANG AREA MUST BE OF SUITABLE HEIGHT AND HARDNESS FOR THE SIZE AND USE OF THE AREA. SPECIES SELECTED SHALL BE TOLERANT OF URBAN CONDITIONS AND DEICING AGENTS. ALL NEW PLANT MATERIALS SHALL BE CONSISTENT AND COMPATIBLE WITH THE EXISTING VEGETATION OF THE SITE AND THE SURROUNDING AREA. PLANT MATERIALS JUDGED TO BE INAPPROPRIATE BY THE PLANNING ADMINISTRATOR OR PLANNING COMMISSION WILL NOT BE APPROVED.		ALL ISLANDS HAVE BEEN LANDSCAPED TO MEET THE INTENT OF THIS REQUIREMENT.	COMPLIES
1355.06 REQUIRED SCREENING ALL DISTRICTS EXCEPT R-1A, R-1B, R-1C AND R-2	A. ALL OFF-STREET PARKING AREAS, OFF STREET LOADING AREAS, OUTDOOR STORAGE AREAS, REFUSE AND RECYCLING AREAS, AND UTILITY IMPROVEMENTS SUCH AS TRANSFORMER(S), EXTERNAL HEATING AND COOLING EQUIPMENT SHALL BE EFFECTIVELY SCREENED. C. THE SCREENING SHALL BE ALONG THE LOT LINES THAT ADJOIN, ABUT, OR ARE ADJACENT TO OR FACE PREMISES SITUATED IN ANY RESIDENTIAL ZONE OR INSTITUTIONAL BUILDINGS. IT SHALL BE OF EVERGREEN PLANTING OF SUCH TYPE, HEIGHT, AND SPACING AS IN THE JUDGMENT OF THE PLANNING ADMINISTRATOR OR PLANNING COMMISSION, WILL EFFECTIVELY SCREEN THE ACTIVITIES ON THE LOT FROM THE VIEW OF PERSONS STANDING ON ADJOINING PROPERTIES. THE PLAN AND SPECIFICATIONS FOR SUCH PLANTING SHALL BE FILED WITH THE APPROVED PLAN FOR THE USE OF THE LOT. D. A WALL OR FENCE, OF LOCATION, HEIGHT, AND DESIGN APPROVED BY THE PLANNING ADMINISTRATOR OR PLANNING COMMISSION, MAY BE SUBSTITUTED FOR THE REQUIRED PLANTING.	SCREENING HAS BEEN PROVIDED WHERE FEASIBLE	EXISTING NON-COMFORMITY

PLANT SCHEDULE

CANOPY TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
CCA	4	CARPINUS CAROLINIANA	AMERICAN HORNBEEAM	3" CAL.	B&B
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
CSK	40	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	15-18"	CONTAINER
DGN	30	DEUTZIA GRACILIS 'NIKKO'	SLENDER DEUTZIA	18-24"	CONTAINER
IGS	50	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	24-30"	CONTAINER
IV	63	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPIRE	24-30"	CONTAINER
JHIB	88	JUNIPERUS HORIZONTALIS 'MONBER'	ICEE BLUE JUNIPER	15-18" SPRD	CONTAINER
RAG	53	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	15-18"	CONTAINER
TMD	18	TAXUS X MEDIA 'DENSIFORMIS'	DENSE YEW	24-30"	B&B
TOE	42	THUJA OCCIDENTALIS 'EMERALD'	EMERALD ARBORVITAE	5-6"	B&B
VR	12	VIBURNUM RHYTIDOPHYLLUM	LEATHERLEAF VIBURNUM	3-4"	B&B
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
PVN	19	PANICUM VIRGATUM 'NORTH WIND'	NORTHWIND SWITCH GRASS	1 GAL.	CONTAINER
SSO	15	SCHIZACHYRIUM SCOPARIUM 'STANDING OVATION'	STANDING OVATION LITTLE BLUESTEM GRASS	1 GAL.	CONTAINER



BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

811
Know what's below.
Call before you dig.
WEST VIRGINIA
YOU MUST CALL 811 BEFORE ANY EXCAVATION
WHETHER IT'S ON PRIVATE OR PUBLIC LAND.
1-800-245-4848
www.wv811.com

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: PB214045
DRAWN BY: APM
CHECKED BY: MVT
DATE: 10/28/2022
CAD ID.: PB214045-LLGT-00

PRELIMINARY/ FINAL LAND DEVELOPMENT PLANS

FOR
KELLBENN, INC.
PROPOSED DEVELOPMENT
842 NATIONAL ROAD
CITY OF WHEELING
OHIO COUNTY, WV 26003

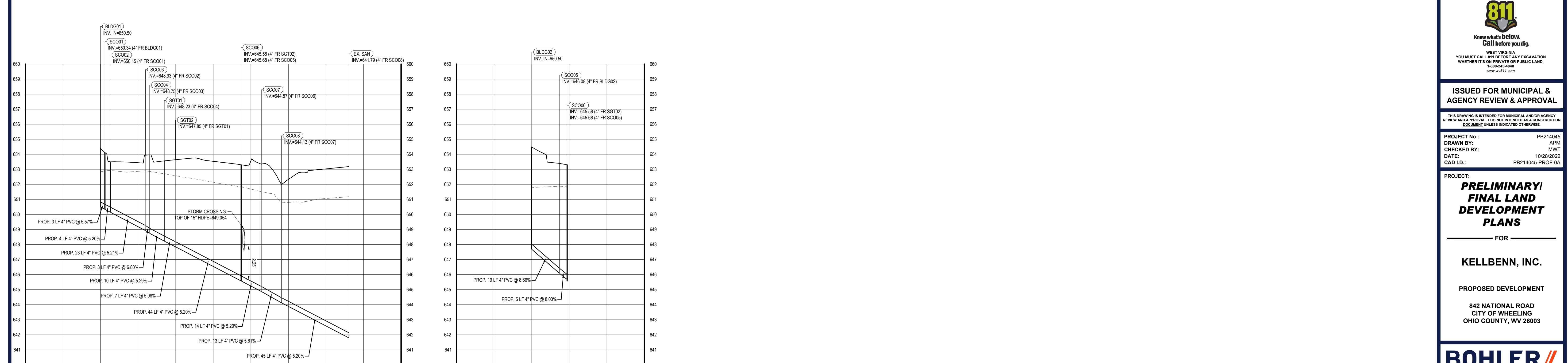
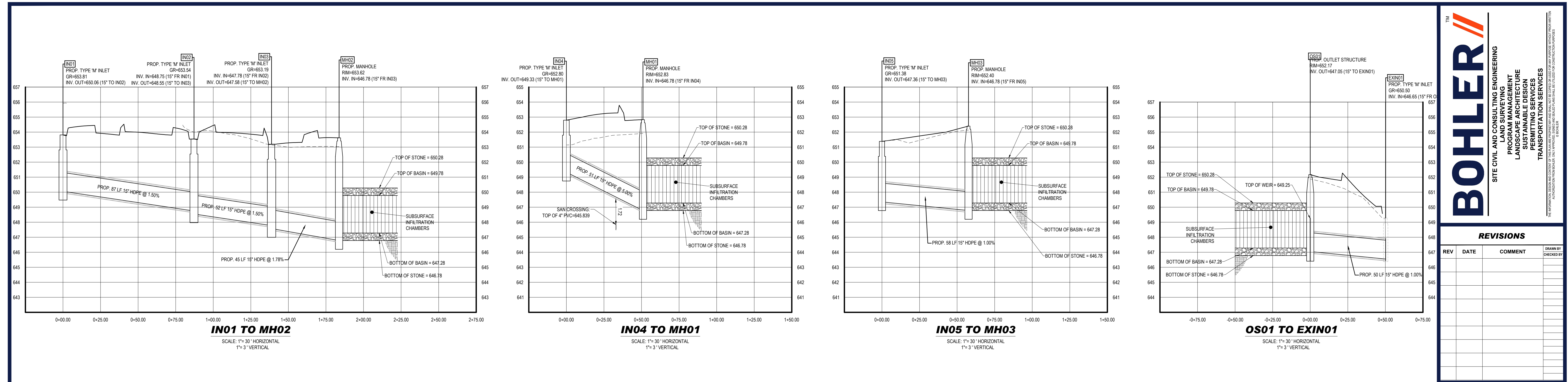
BOHLER
1 ALLEGHENY SQUARE, SUITE 402
PITTSBURGH, PA 15212
Phone: (724) 638-8500
www.BohlerEngineering.com

M.W. TAKACS
REGISTERED LANDSCAPE ARCHITECT
WEST VIRGINIA LICENSE No.

LANDSCAPE PLAN

SHEET NUMBER:
C-702

ORG. DATE - 10/28/2022



REV	DATE	COMMENT	DRAWN BY	CHECKED BY



SITE CIVIL AND CONSULTING ENGINEERING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

WEST VIRGINIA
 YOU MUST CALL 811 BEFORE ANY EXCAVATION
 WHETHER IT'S ON PRIVATE OR PUBLIC LAND.
 1-800-245-8448
 www.wv811.com

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: PB214045
 DRAWN BY: APM
 CHECKED BY: MWT
 DATE: 10/28/2022
 CAD I.D.: PB214045-PROF-0A

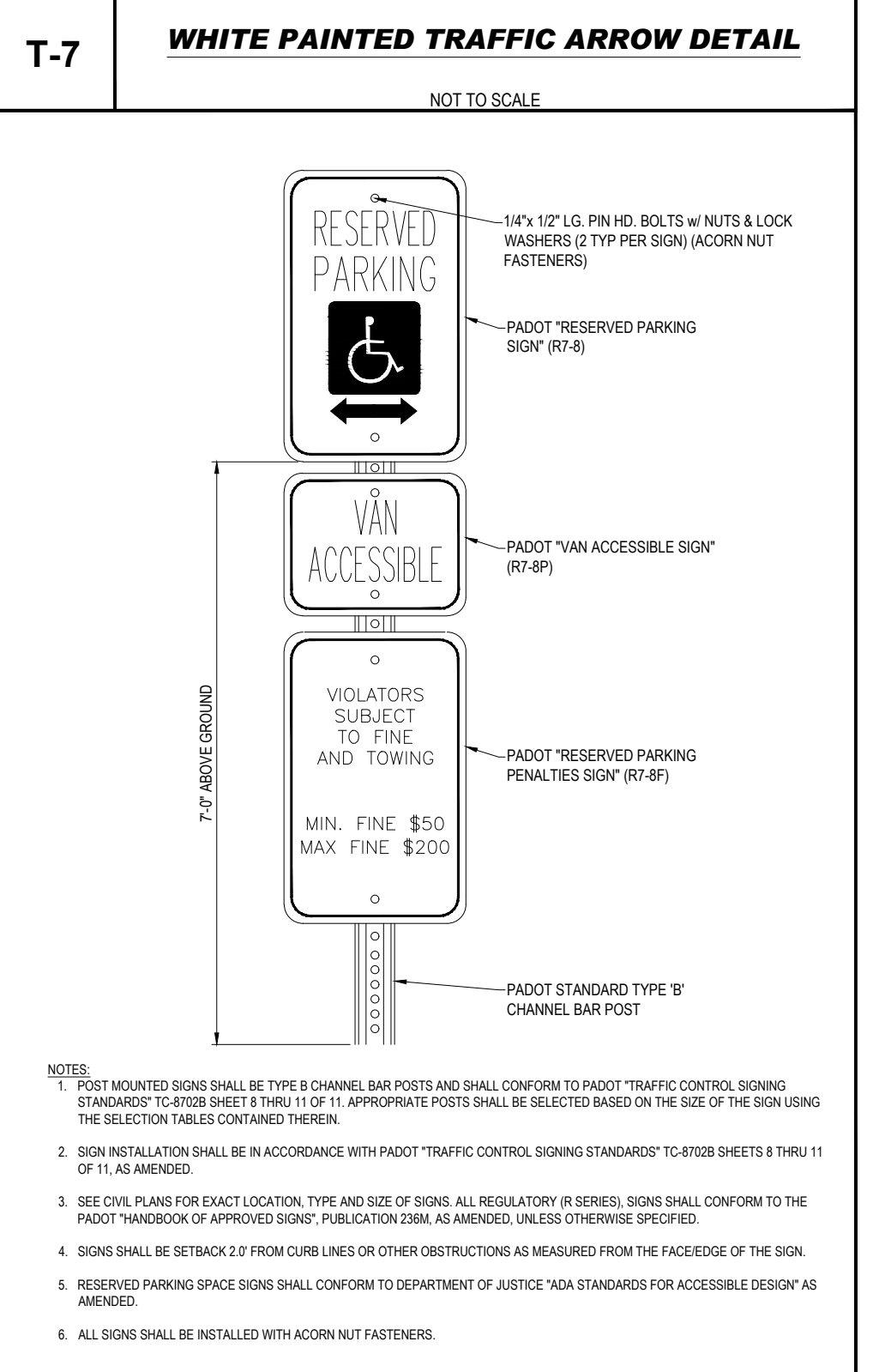
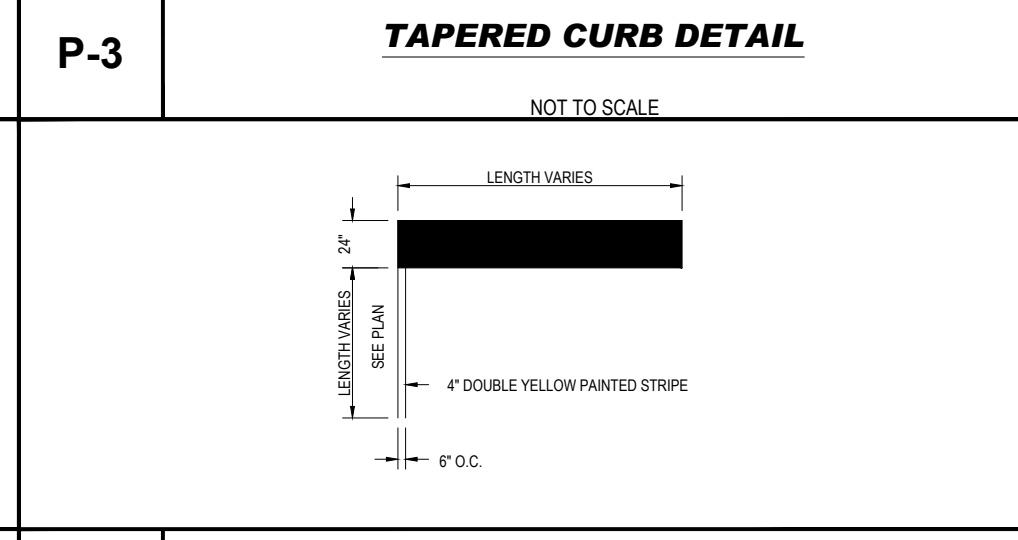
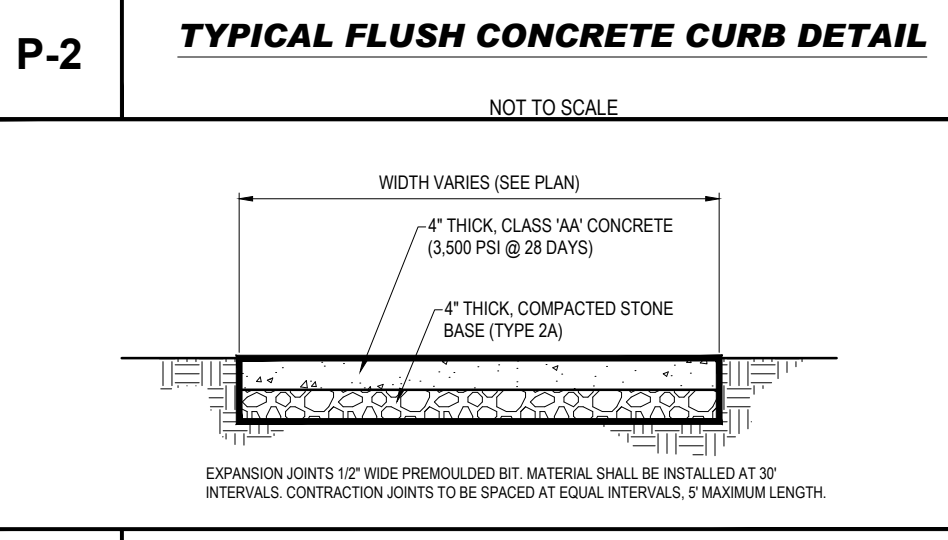
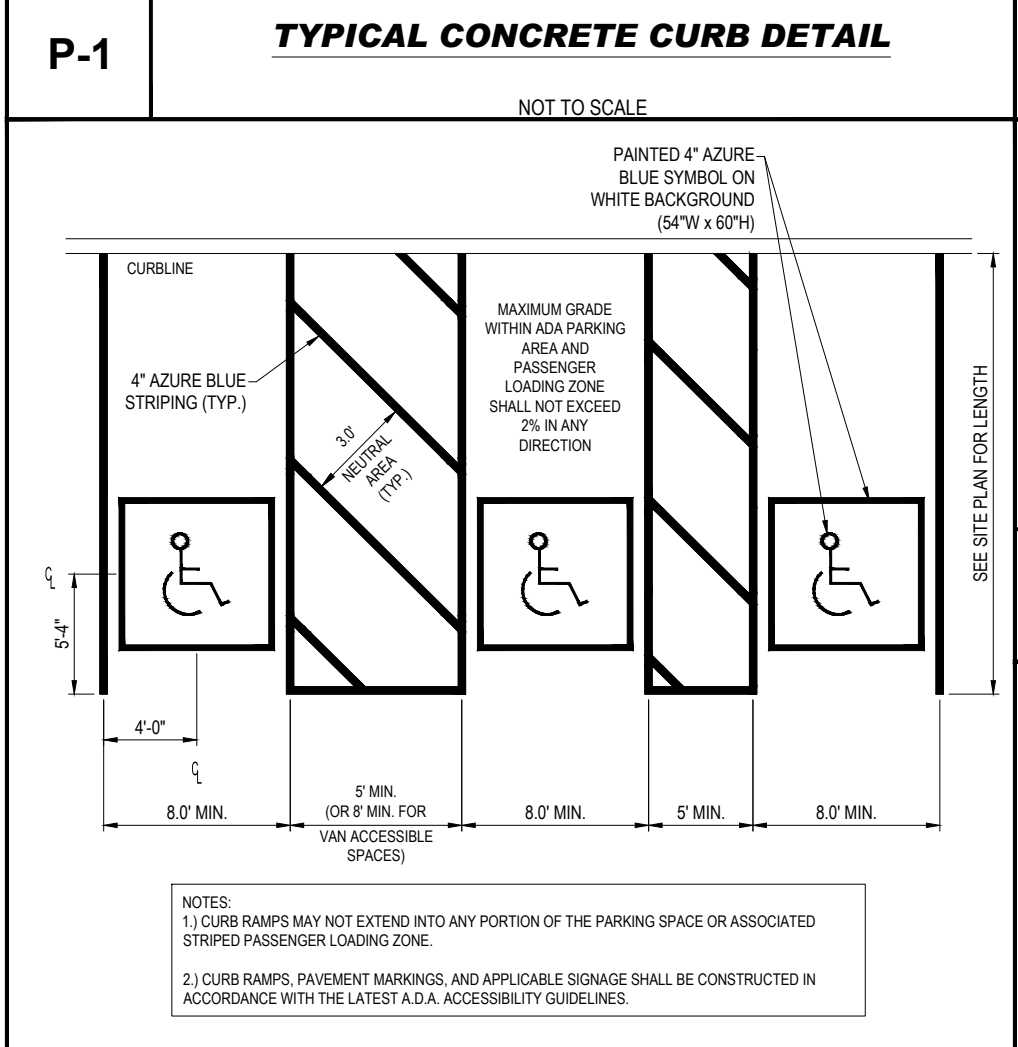
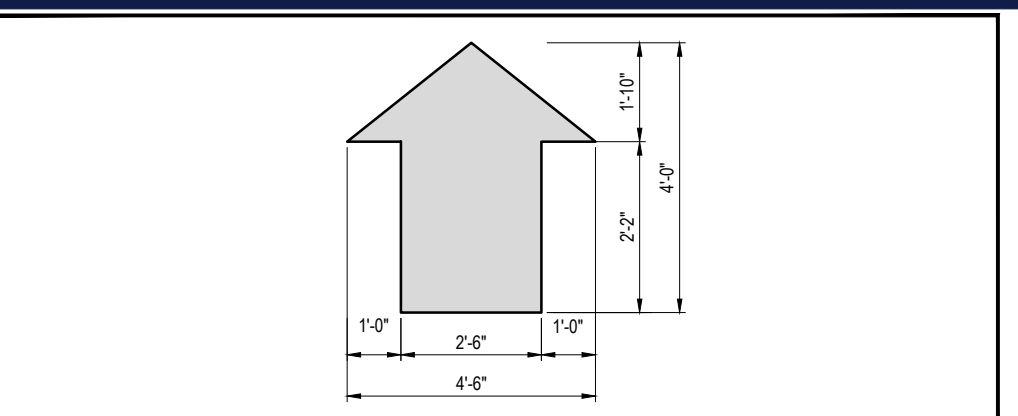
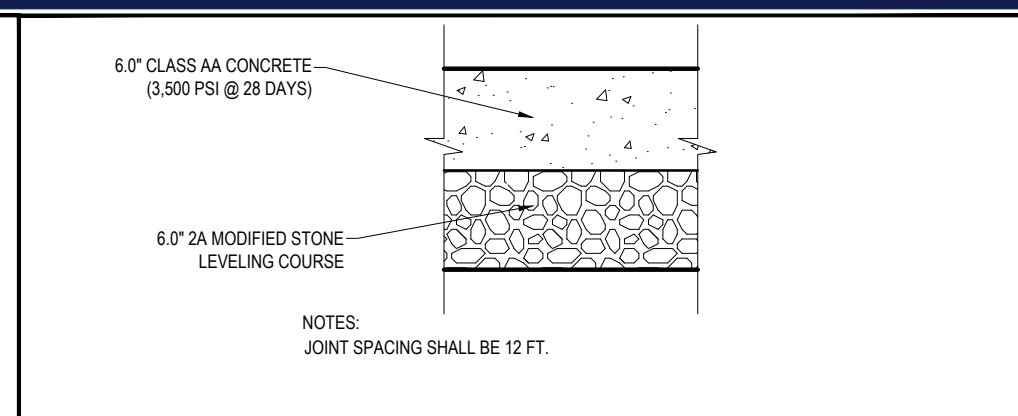
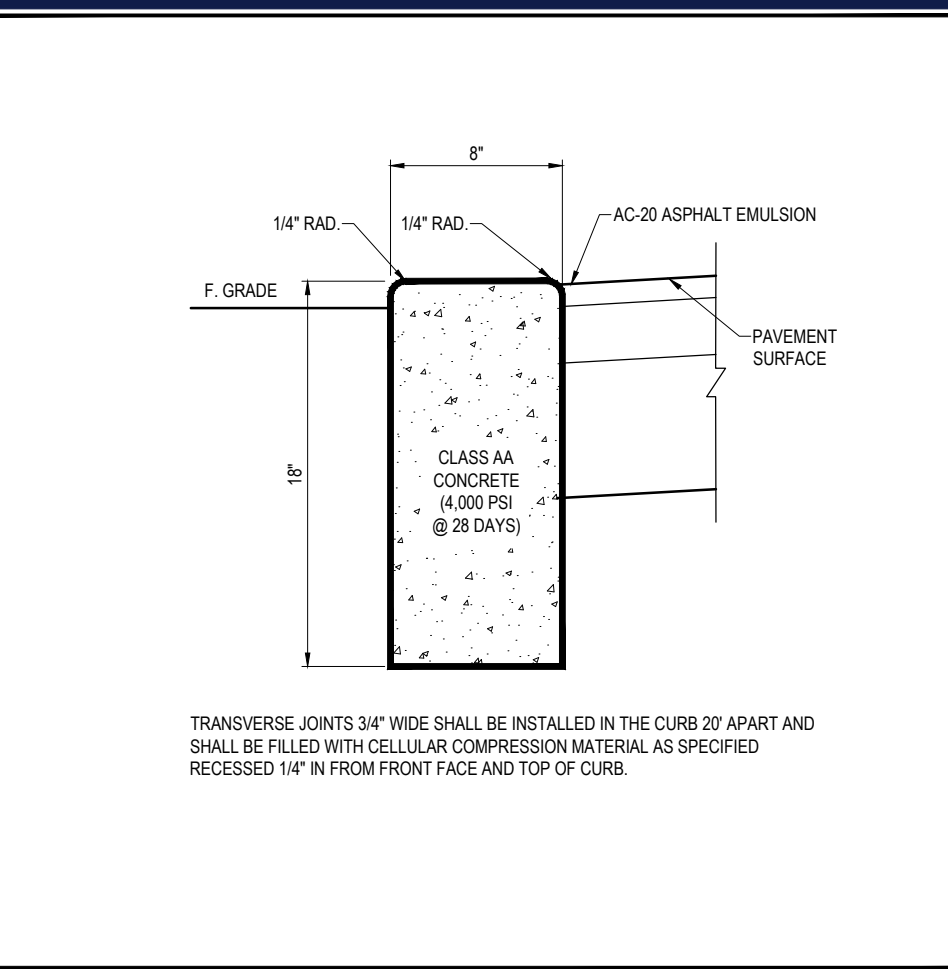
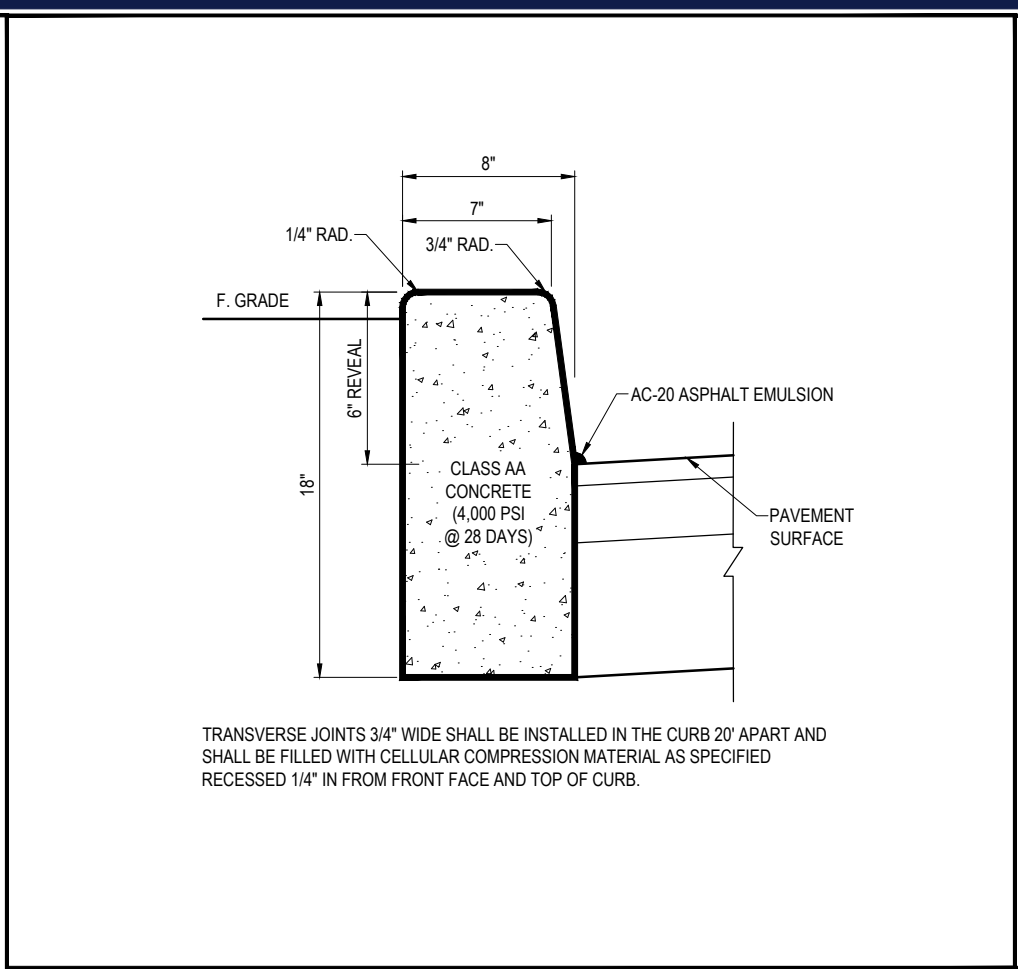
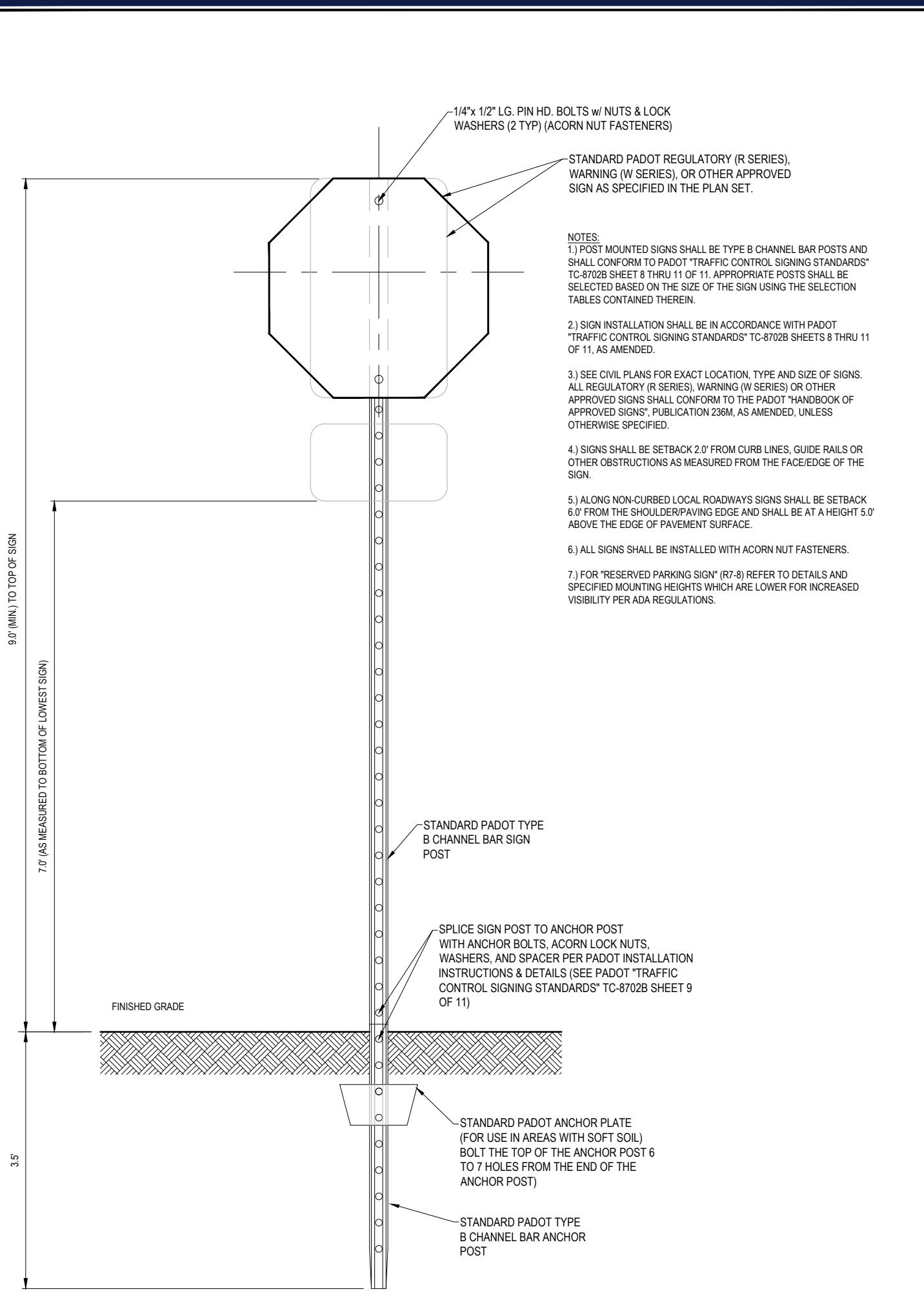
PROJECT:
**PRELIMINARY/
 FINAL LAND
 DEVELOPMENT
 PLANS**
 FOR
KELLBENN, INC.
 PROPOSED DEVELOPMENT
 842 NATIONAL ROAD
 CITY OF WHEELING
 OHIO COUNTY, WV 26003

1 ALLEGHENY SQUARE, SUITE 402
 PITTSBURGH, PA 15212
 Phone: (724) 638-8500
 www.BohlerEngineering.com

REGISTERED LANDSCAPE ARCHITECT
 WEST VIRGINIA LICENSE No. _____

SHEET TITLE:
PROFILES
 SHEET NUMBER:
C-801
 ORG. DATE - 10/28/2022

R:\1\1021045\CADD\DRAWINGS\PLAN SET\CIVIL SITE PLANS\PB214045-PROF-0A.dwg LAYOUT: C-801 PROFILES



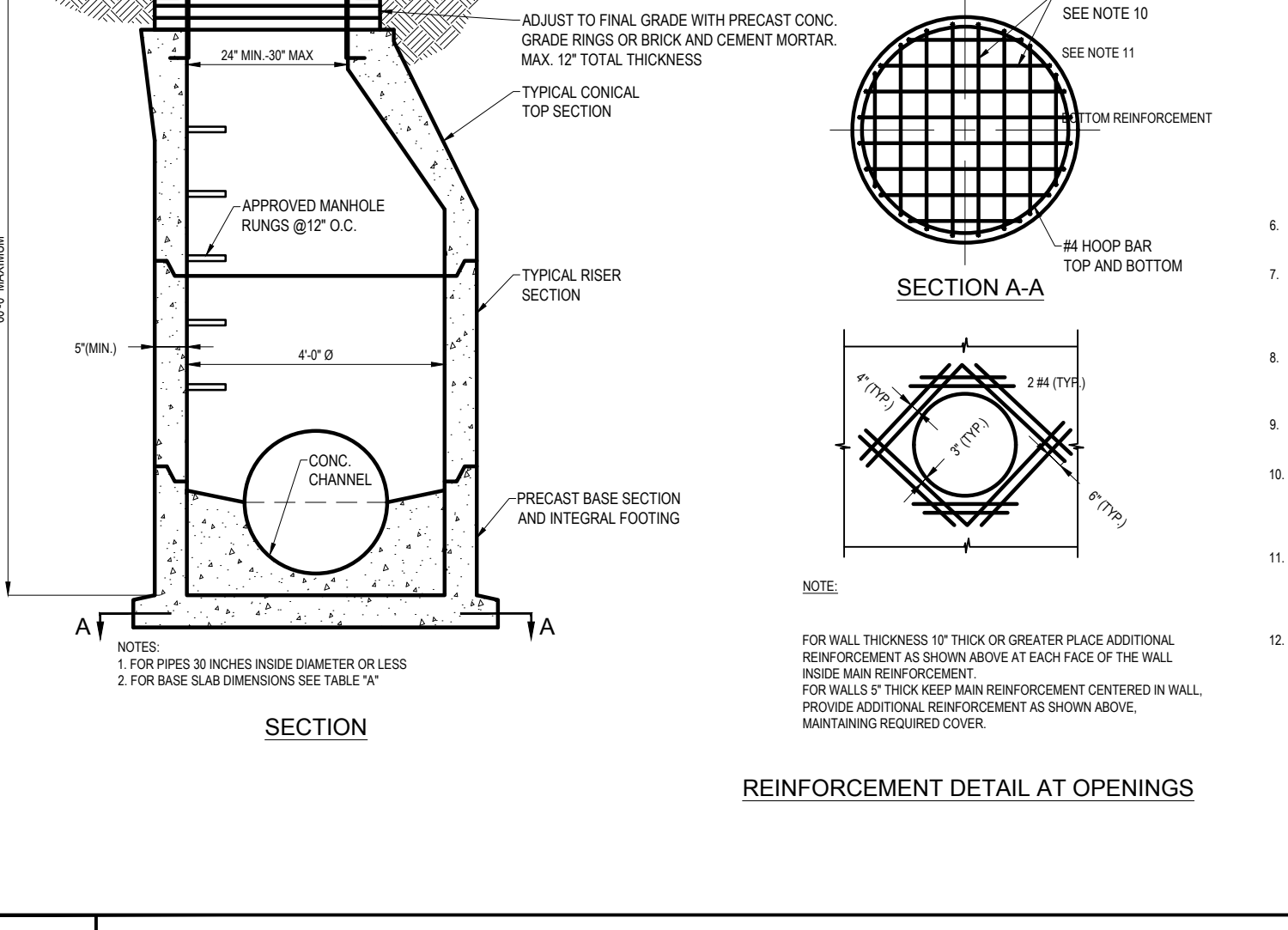
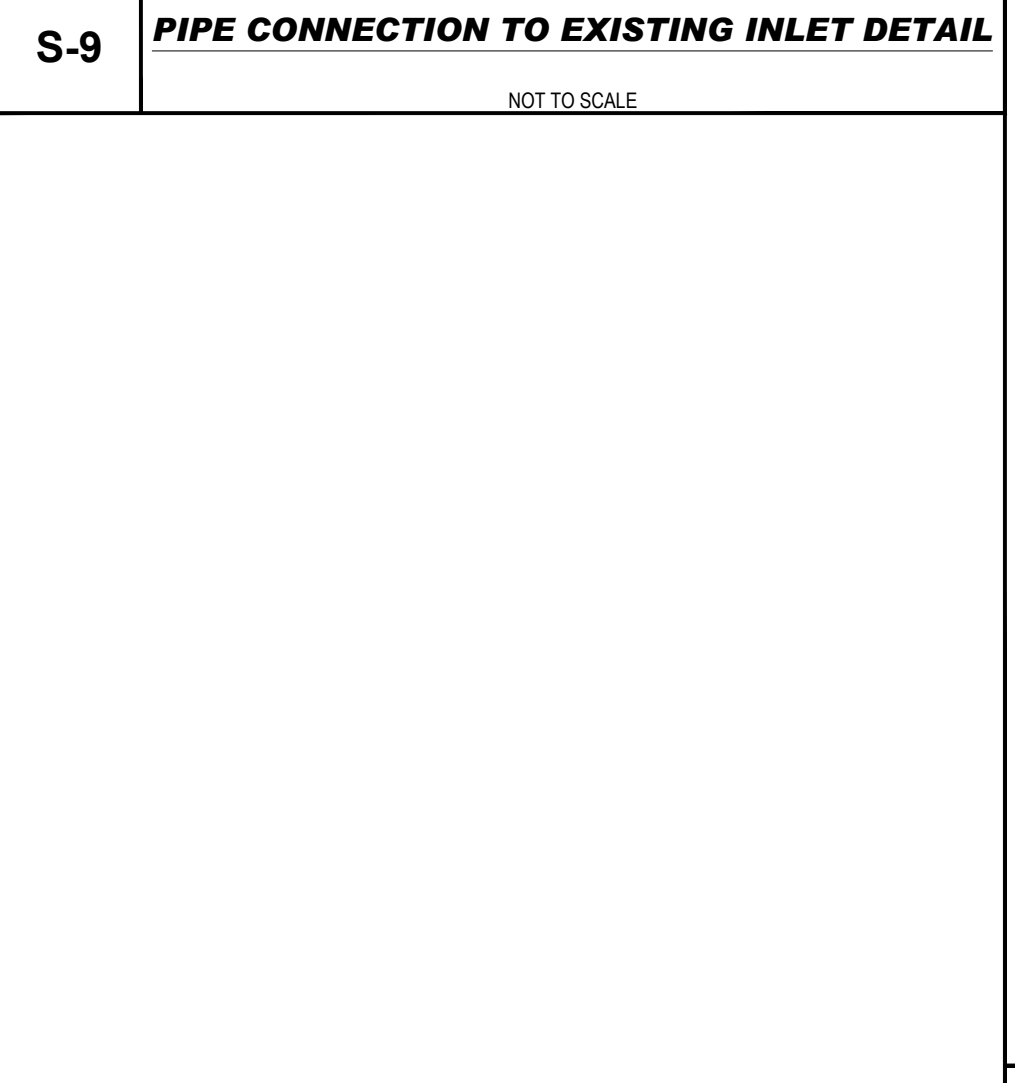
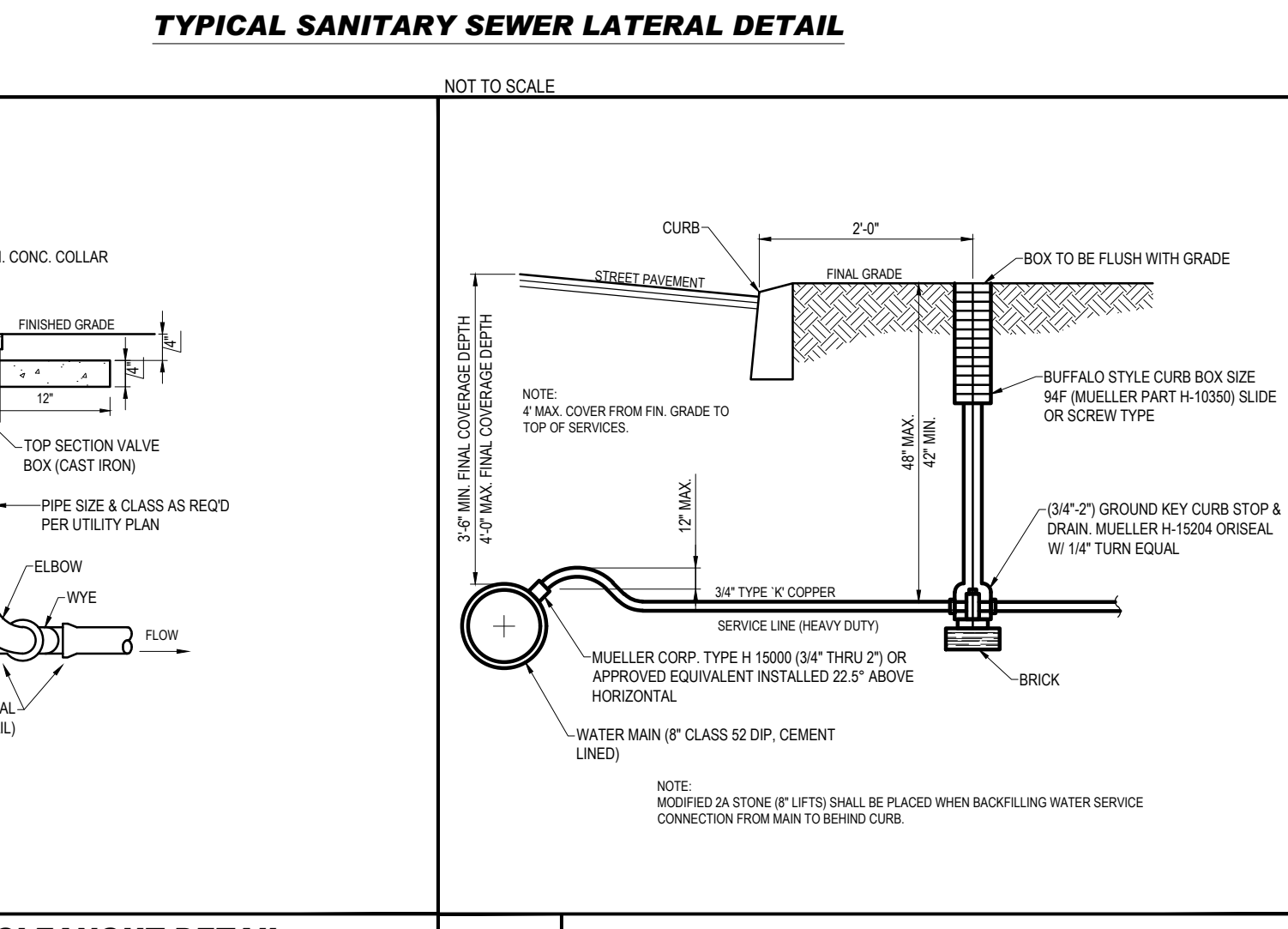
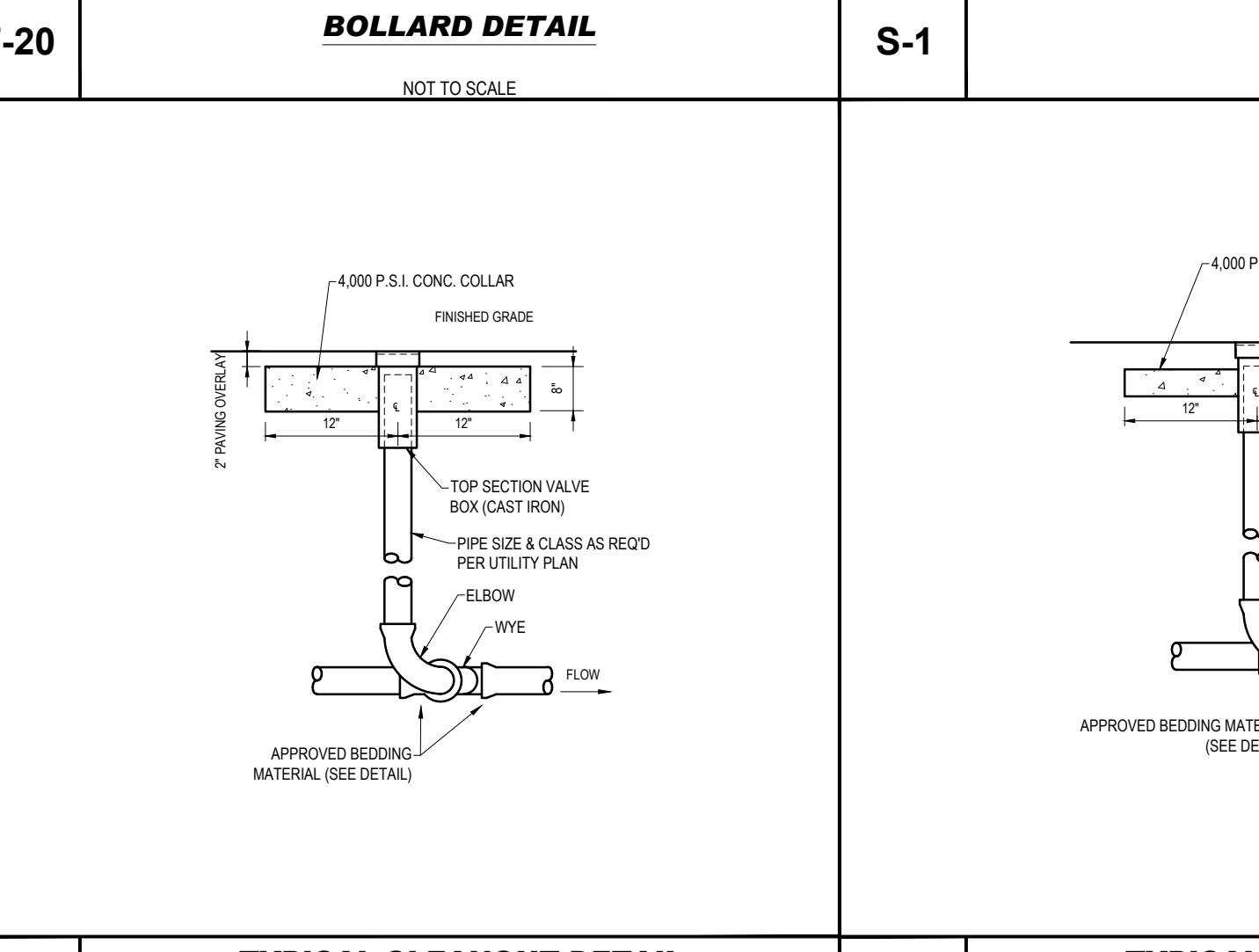
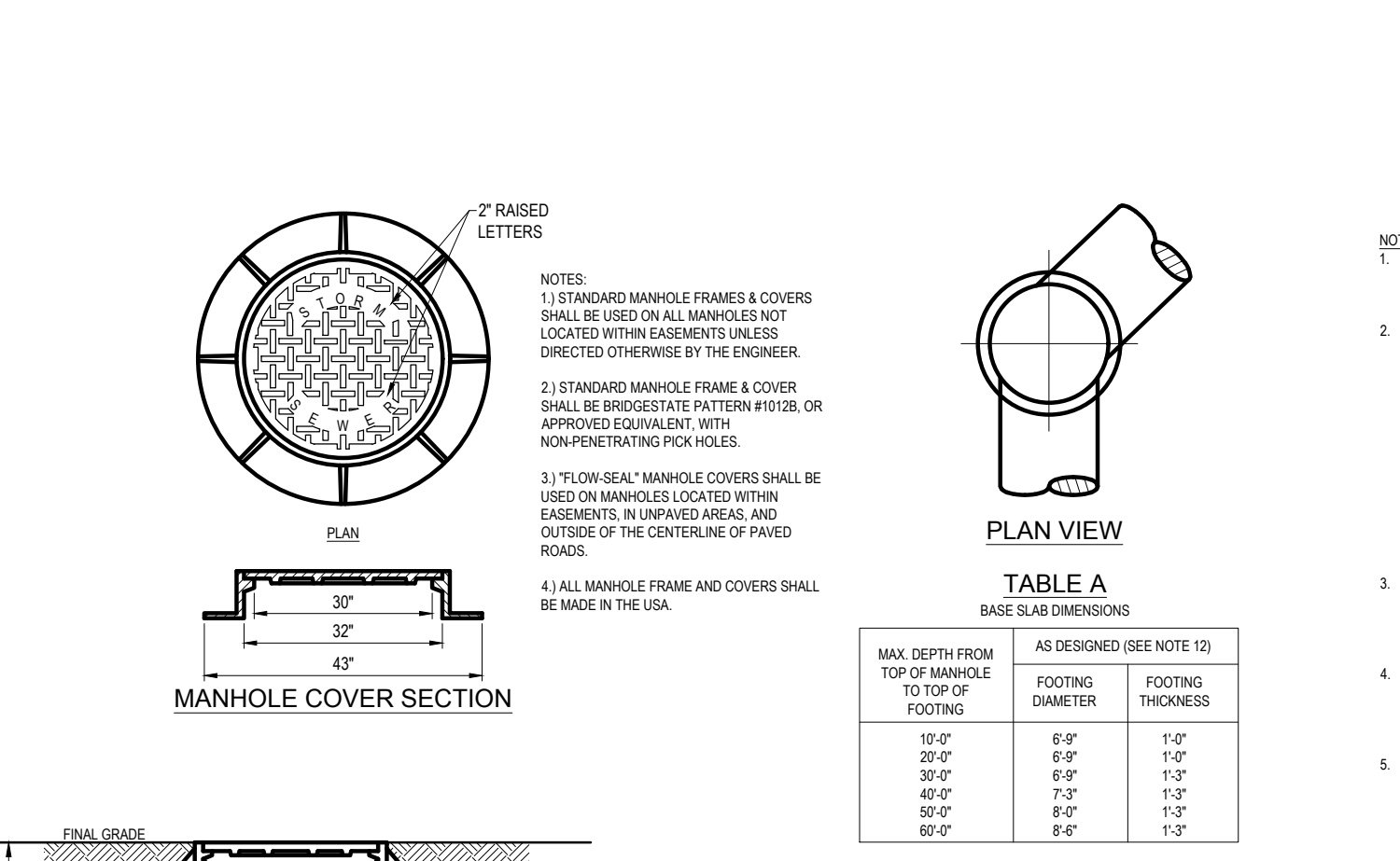
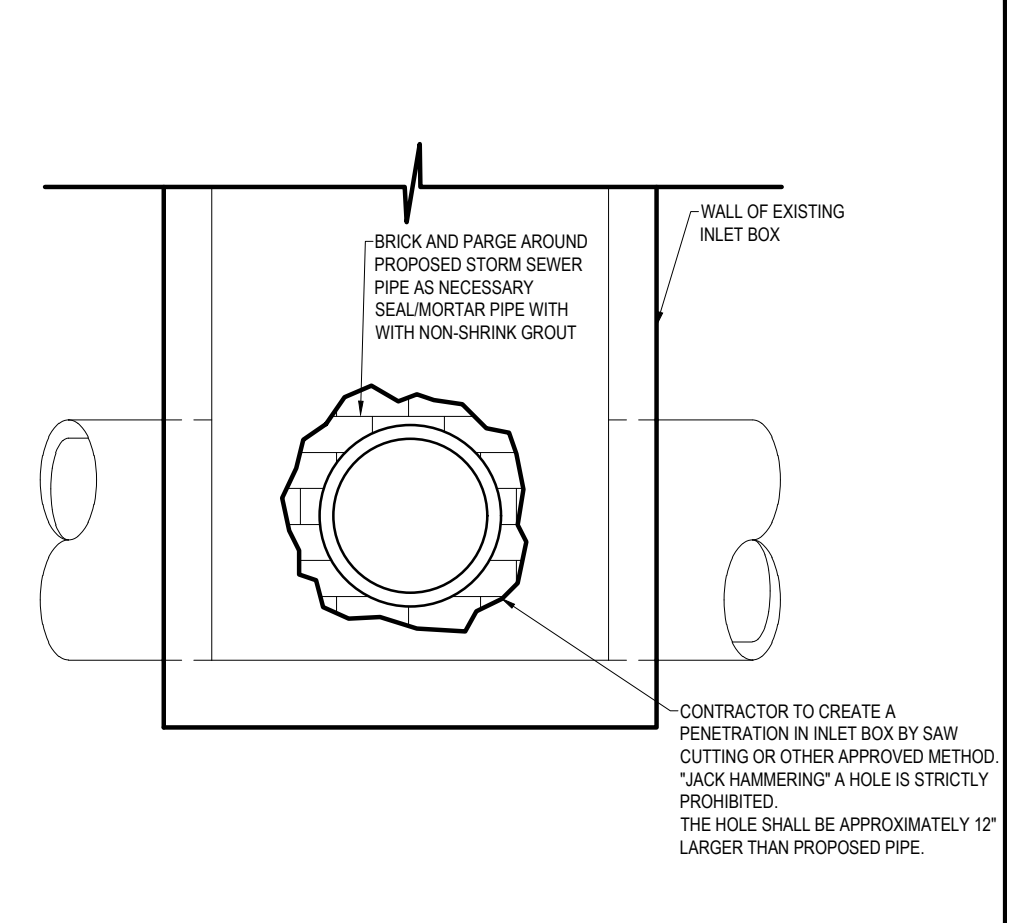
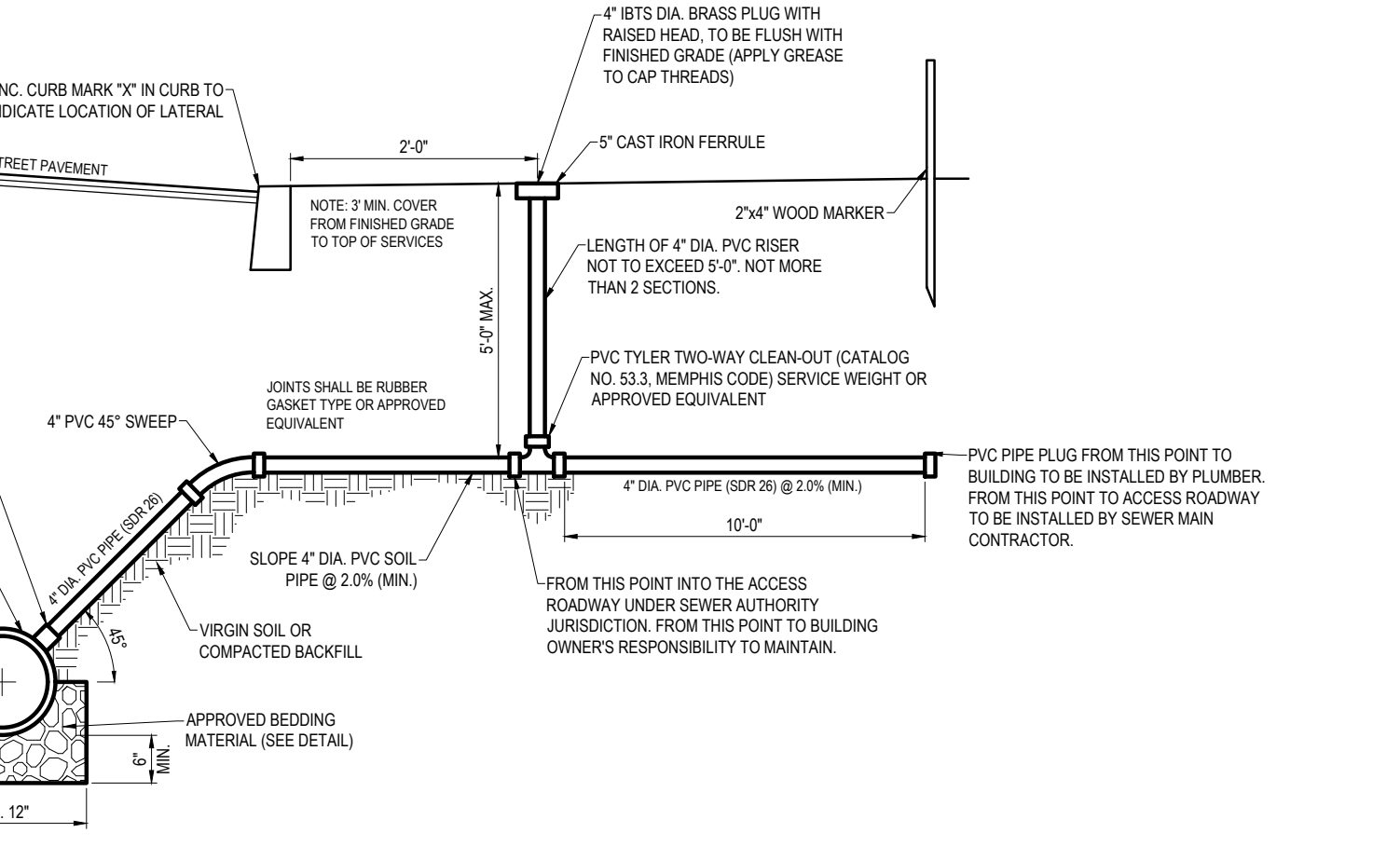
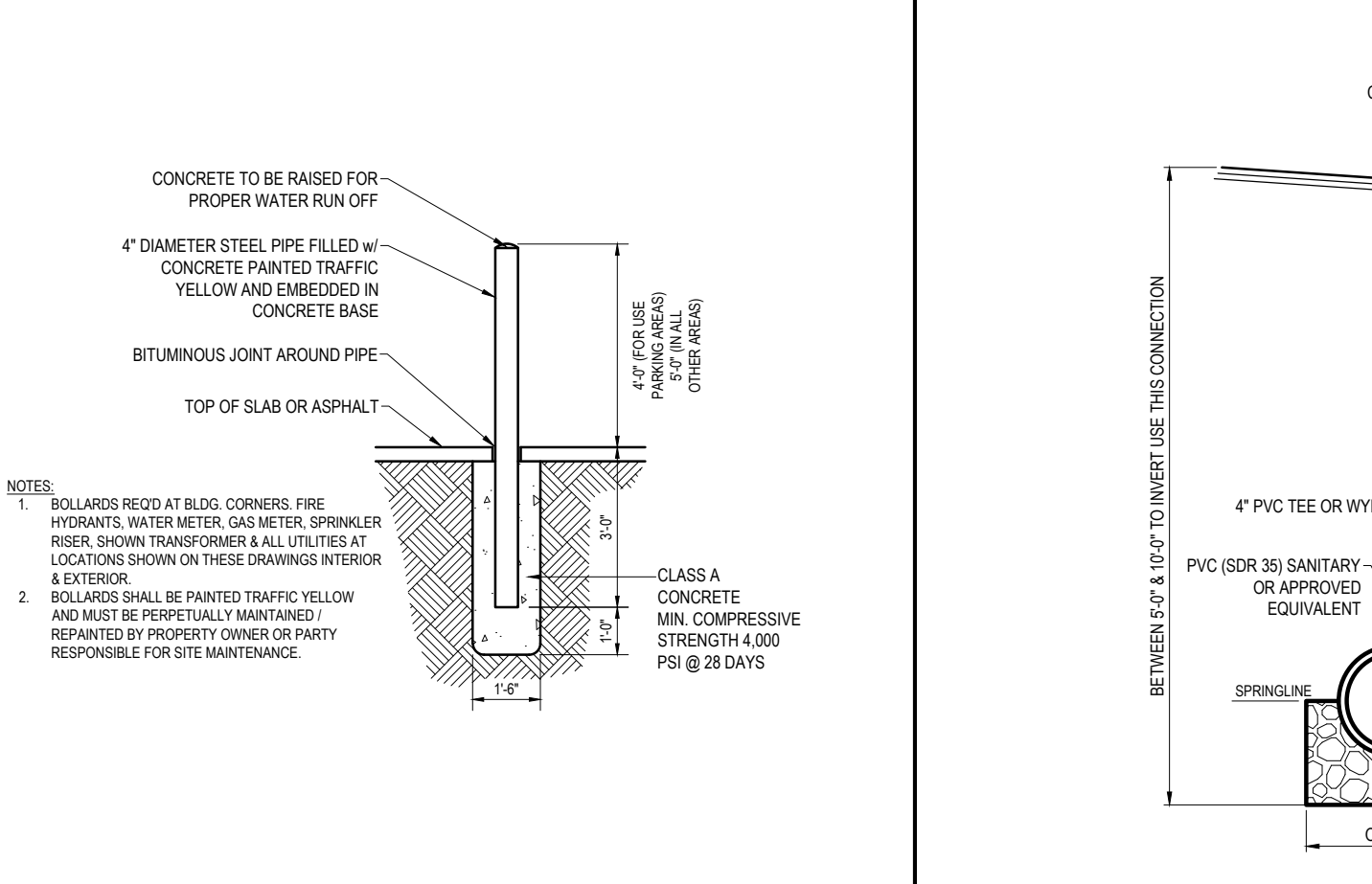
T-11 STANDARD POLE MOUNTED SIGN INSTALLATION DETAIL
NOT TO SCALE

T-12 ADA ACCESSIBLE PARKING SPACE STRIPING (3 SPACES)
NOT TO SCALE

P-17 STANDARD ASPHALT PAVEMENT DETAIL
NOT TO SCALE

T-5 WHITE PAINTED STOP BAR & "STOP" LETTERING DETAIL
NOT TO SCALE

T-14 RESERVED PARKING SPACE WITH PENALTIES & VAN ACCESSIBLE SIGNS
NOT TO SCALE



S-12 TYPICAL CLEANOUT DETAIL (PAVED AREAS)
NOT TO SCALE

S-13 TYPICAL CLEANOUT DETAIL (LANDSCAPE AREAS)
NOT TO SCALE

W-2 WATER SERVICES CONNECTION DETAIL
NOT TO SCALE

R-4 PRECAST STORM MANHOLE DETAILS
NOT TO SCALE

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY

811
Know what's below.
Call before you dig.
WEST VIRGINIA
YOU MUST CALL 811 BEFORE ANY EXCAVATION
WHETHER IT'S ON PRIVATE OR PUBLIC LAND.
1-800-245-4848
www.wv811.com

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

PROJECT No.: PB214045
DRAWN BY: APM
CHECKED BY: MWT
DATE: 10/28/2022
CAD I.D.: PB214045-CNDS-00

**PRELIMINARY!
FINAL LAND
DEVELOPMENT
PLANS**
FOR
KELLBENN, INC.
PROPOSED DEVELOPMENT
**842 NATIONAL ROAD
CITY OF WHEELING
OHIO COUNTY, WV 26003**

BOHLER
1 ALLEGHENY SQUARE, SUITE 402
PITTSBURGH, PA 15212
Phone: (724) 638-8500
www.BohlerEngineering.com

M.W. TAKACS
REGISTERED LANDSCAPE ARCHITECT
WEST VIRGINIA LICENSE No.

SHEET TITLE:
DETAILS
SHEET NUMBER:
C-901
ORG. DATE - 10/28/2022

R:\P214045\CADD\DRAWINGS\PLAN SET\CIVIL - SITE PLANS\PRELIM\LANDSCAPE\LAJ01 - LAJ01 (C-901) DETAILS

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY



811
 Know what's below.
 Call before you dig.
 WEST VIRGINIA
 YOU MUST CALL 811 BEFORE ANY EXCAVATION
 WHETHER IT'S ON PRIVATE OR PUBLIC LAND.
 1-800-245-4848
 www.wv811.com

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: PB214045
 DRAWN BY: APM
 CHECKED BY: MWT
 DATE: 10/28/2022
 CAD ID: PB214045-HYDR-0A

PRELIMINARY/ FINAL LAND DEVELOPMENT PLANS

FOR
KELLBENN, INC.

PROPOSED DEVELOPMENT
 842 NATIONAL ROAD
 CITY OF WHEELING
 OHIO COUNTY, WV 26003

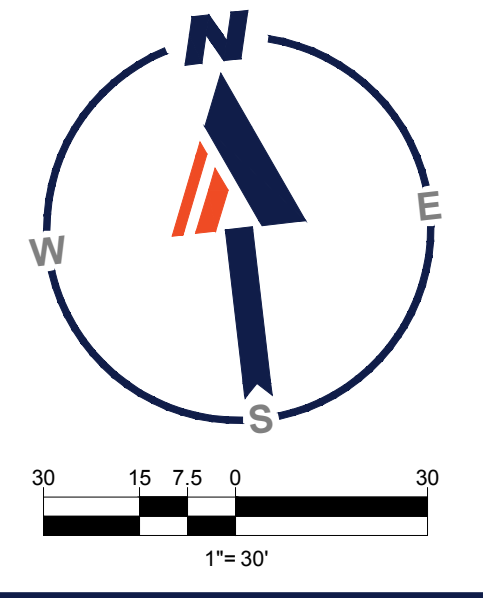
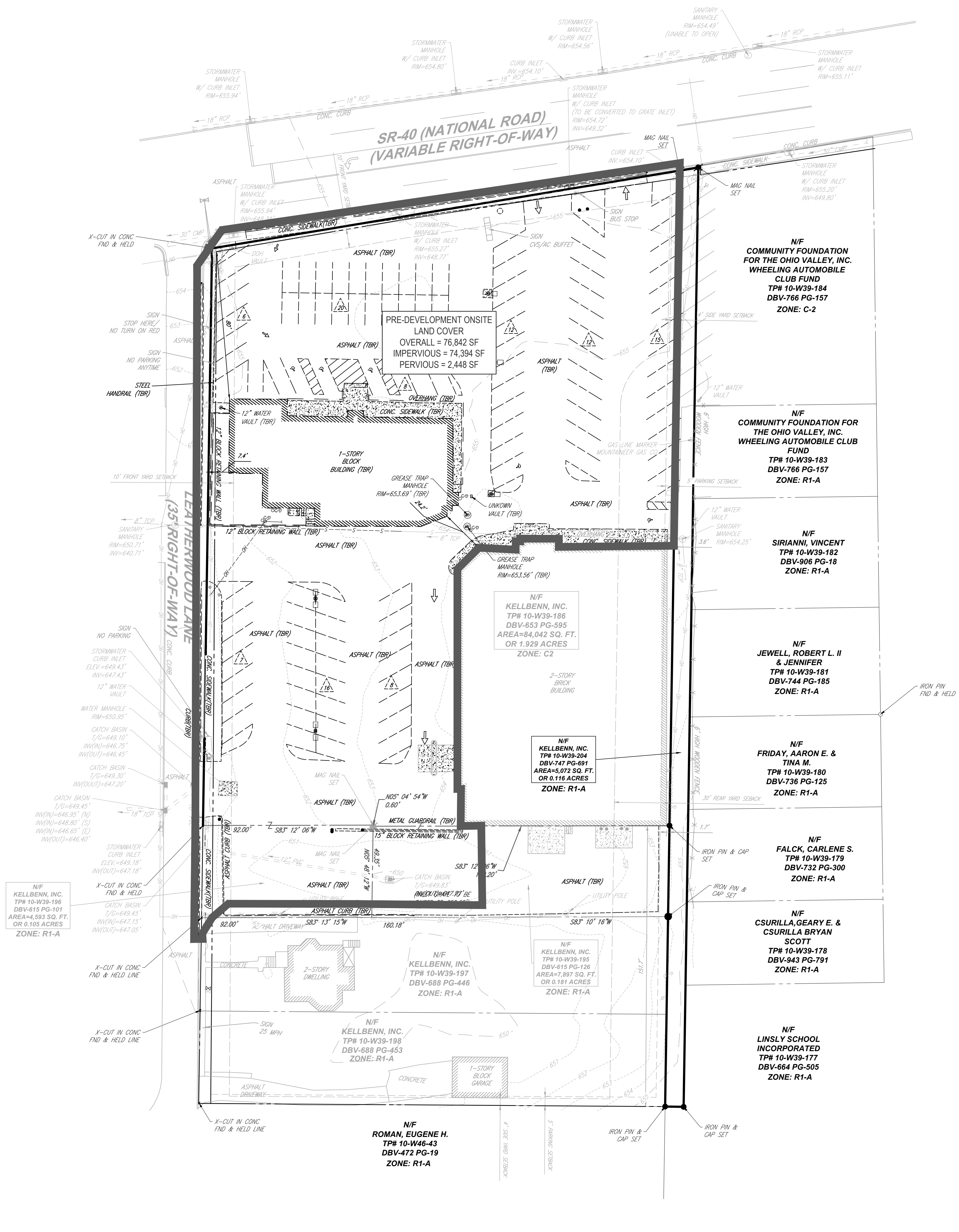
BOHLER
 1 ALLEGHENY SQUARE, SUITE 402
 PITTSBURGH, PA 15212
 Phone: (724) 638-8500
 www.BohlerEngineering.com

M.W. TAKACS
 REGISTERED LANDSCAPE ARCHITECT
 WEST VIRGINIA LICENSE No.

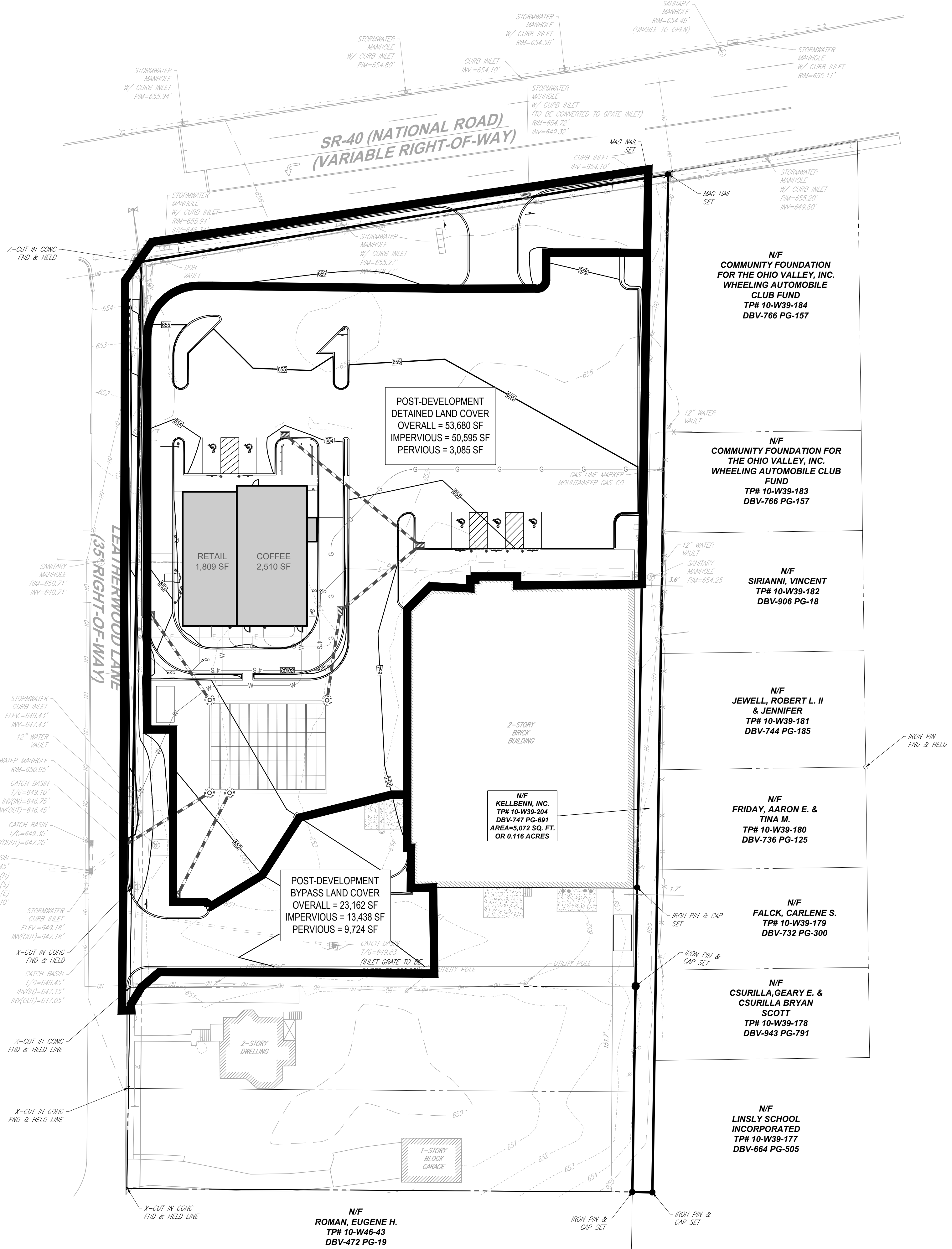
PRE-DEVELOPMENT DRAINAGE MAP

SHEET NUMBER:
C-902

ORG. DATE - 10/28/2022



R:\2011\10\14\1045\CADD\DRAWINGS\PLAN SET\CIVIL SITE PLANS\1045-HYDR.RAW...LAYOUT: C-903 POST



SR-40 (NATIONAL ROAD)
(VARIABLE RIGHT-OF-WAY)

LEATHERWOOD LANE
(35' RIGHT-OF-WAY)

POST-DEVELOPMENT
DETAINED LAND COVER
OVERALL = 53,680 SF
IMPERVIOUS = 50,595 SF
PERVIOUS = 3,085 SF

POST-DEVELOPMENT
BYPASS LAND COVER
OVERALL = 23,162 SF
IMPERVIOUS = 13,438 SF
PERVIOUS = 9,724 SF

N/F
COMMUNITY FOUNDATION
FOR THE OHIO VALLEY, INC.
WHEELING AUTOMOBILE
CLUB FUND
TP# 10-W39-184
DBV-766 PG-157

N/F
COMMUNITY FOUNDATION FOR
THE OHIO VALLEY, INC.
WHEELING AUTOMOBILE CLUB
FUND
TP# 10-W39-183
DBV-766 PG-157

N/F
SIRIANNI, VINCENT
TP# 10-W39-182
DBV-906 PG-18

N/F
JEWELL, ROBERT L. II
& JENNIFER
TP# 10-W39-181
DBV-744 PG-185

N/F
FRIDAY, AARON E. &
TINA M.
TP# 10-W39-180
DBV-736 PG-125

N/F
FALCK, CARLENE S.
TP# 10-W39-179
DBV-732 PG-300

N/F
CSURILLA, GEARY E. &
CSURILLA BRYAN
SCOTT
TP# 10-W39-178
DBV-943 PG-791

N/F
LINSLY SCHOOL
INCORPORATED
TP# 10-W39-177
DBV-664 PG-505

N/F
ROMAN, EUGENE H.
TP# 10-W46-43
DBV-472 PG-19

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

811
Know what's below.
Call before you dig.
WEST VIRGINIA
YOU MUST CALL 811 BEFORE ANY EXCAVATION
WHETHER IT'S ON PRIVATE OR PUBLIC LAND.
1-800-245-4848
www.wv811.com

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL
THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.
PROJECT No.: PB214045
DRAWN BY: APM
CHECKED BY: MVT
DATE: 10/28/2022
CAD ID: PB214045-HYDR-0A

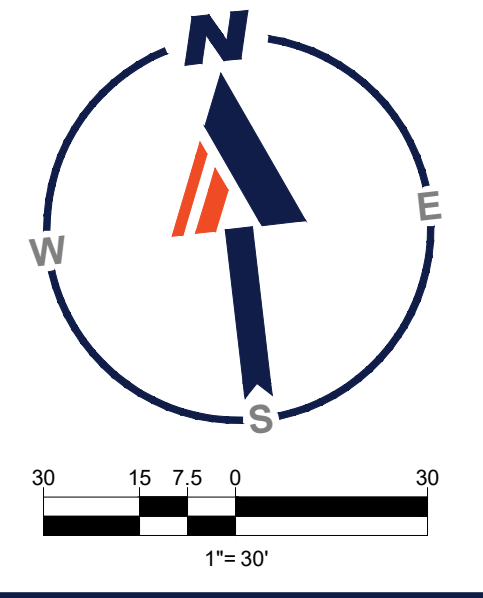
PRELIMINARY/ FINAL LAND DEVELOPMENT PLANS
FOR
KELLBENN, INC.
PROPOSED DEVELOPMENT
842 NATIONAL ROAD
CITY OF WHEELING
OHIO COUNTY, WV 26003

BOHLER
1 ALLEGHENY SQUARE, SUITE 402
PITTSBURGH, PA 15212
Phone: (724) 638-8500
www.BohlerEngineering.com

M.W. TAKACS
REGISTERED LANDSCAPE ARCHITECT
WEST VIRGINIA LICENSE No.

SHEET TITLE:
POST-DEVELOPMENT DRAINAGE MAP
SHEET NUMBER:
C-903

ORG. DATE - 10/28/2022





General Notes:

**PROGRESS PRINT
10.07.22**

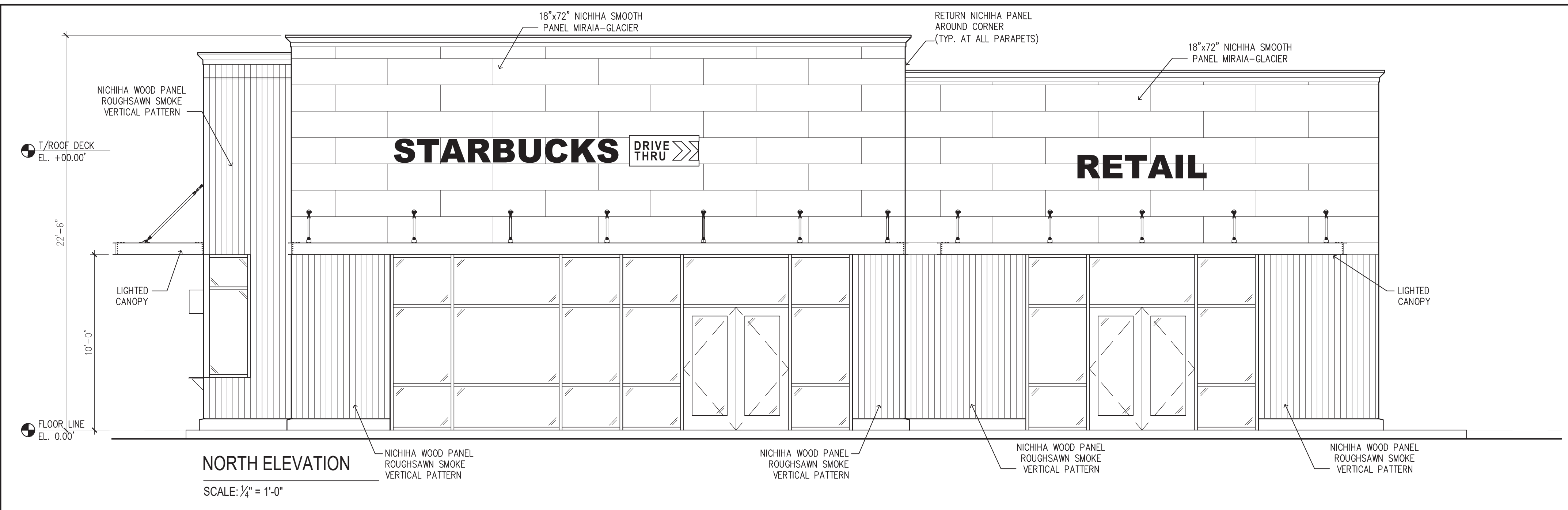
THE CONTRACTOR SHALL CHECK ALL DIMENSIONS AND VERIFY ALL CONDITIONS PERTAINING TO THIS DRAWING AT THE BUILDING AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT AT ONCE.

No.	Revision:	Date:

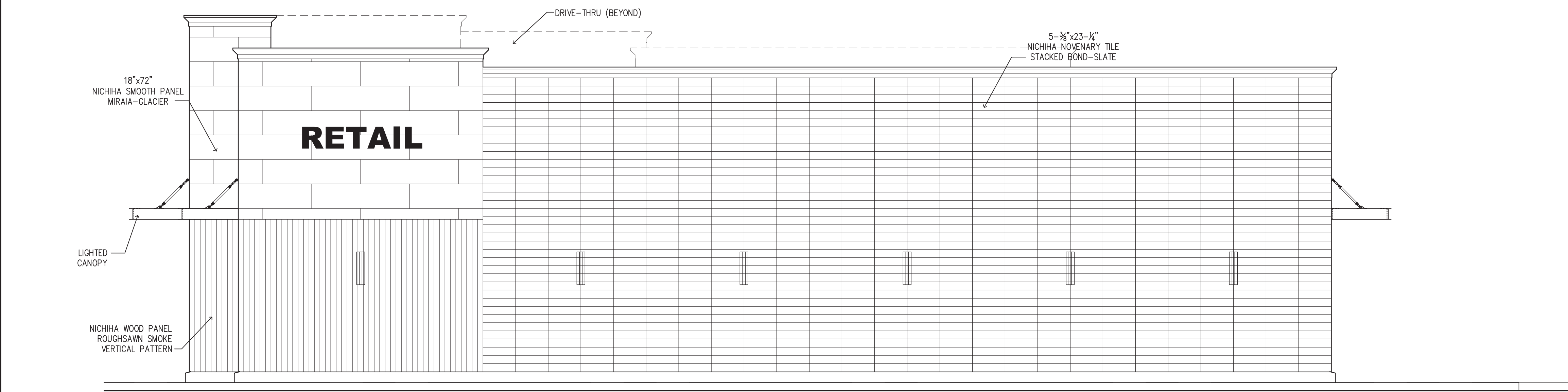
Drawing Title:
ELEVATIONS

Commission No.: 22-7-25
Scale: 1/2" = 1'-0"
Drawn By: JZE
Date:
Approved: FAC

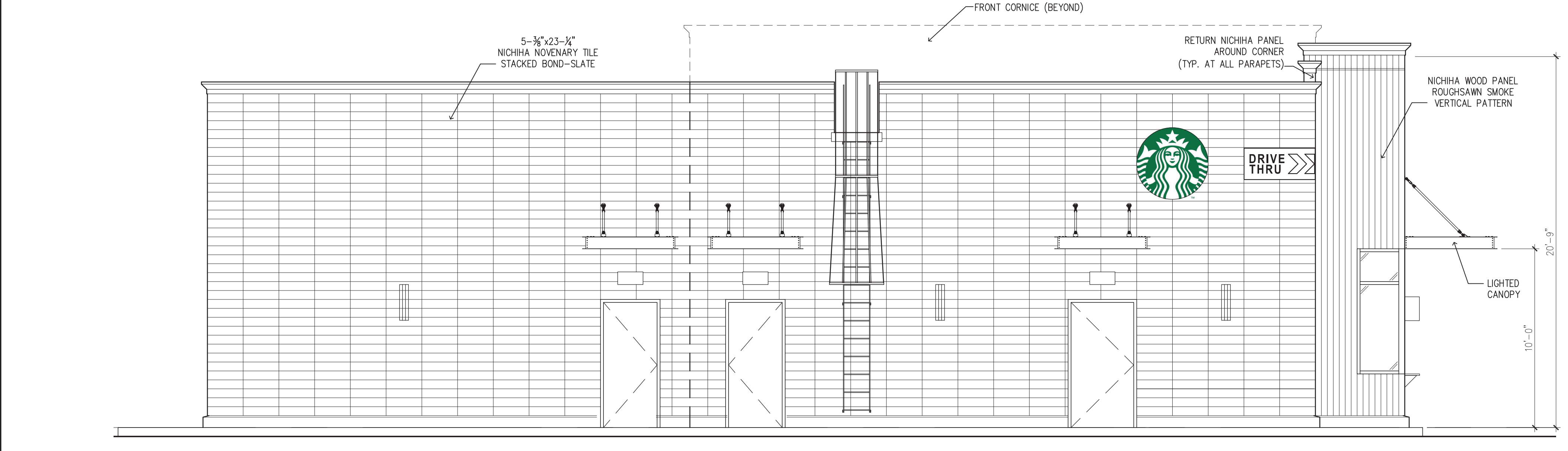
Drawing No.:
A200



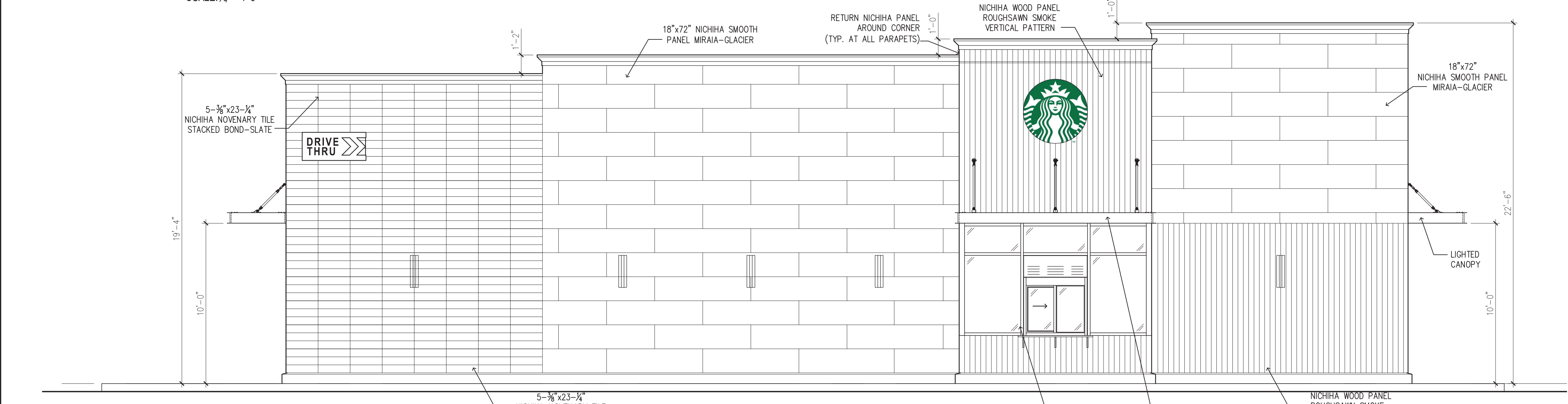
NORTH ELEVATION
SCALE: 1/2" = 1'-0"



WEST ELEVATION
SCALE: 1/2" = 1'-0"



SOUTH ELEVATION
SCALE: 1/2" = 1'-0"



WEST ELEVATION
SCALE: 1/2" = 1'-0"



STARBUCKS

DRIVE
THRU >>

RETAIL



STARBUCKS

DRIVE THRU

RETAIL

RETAIL